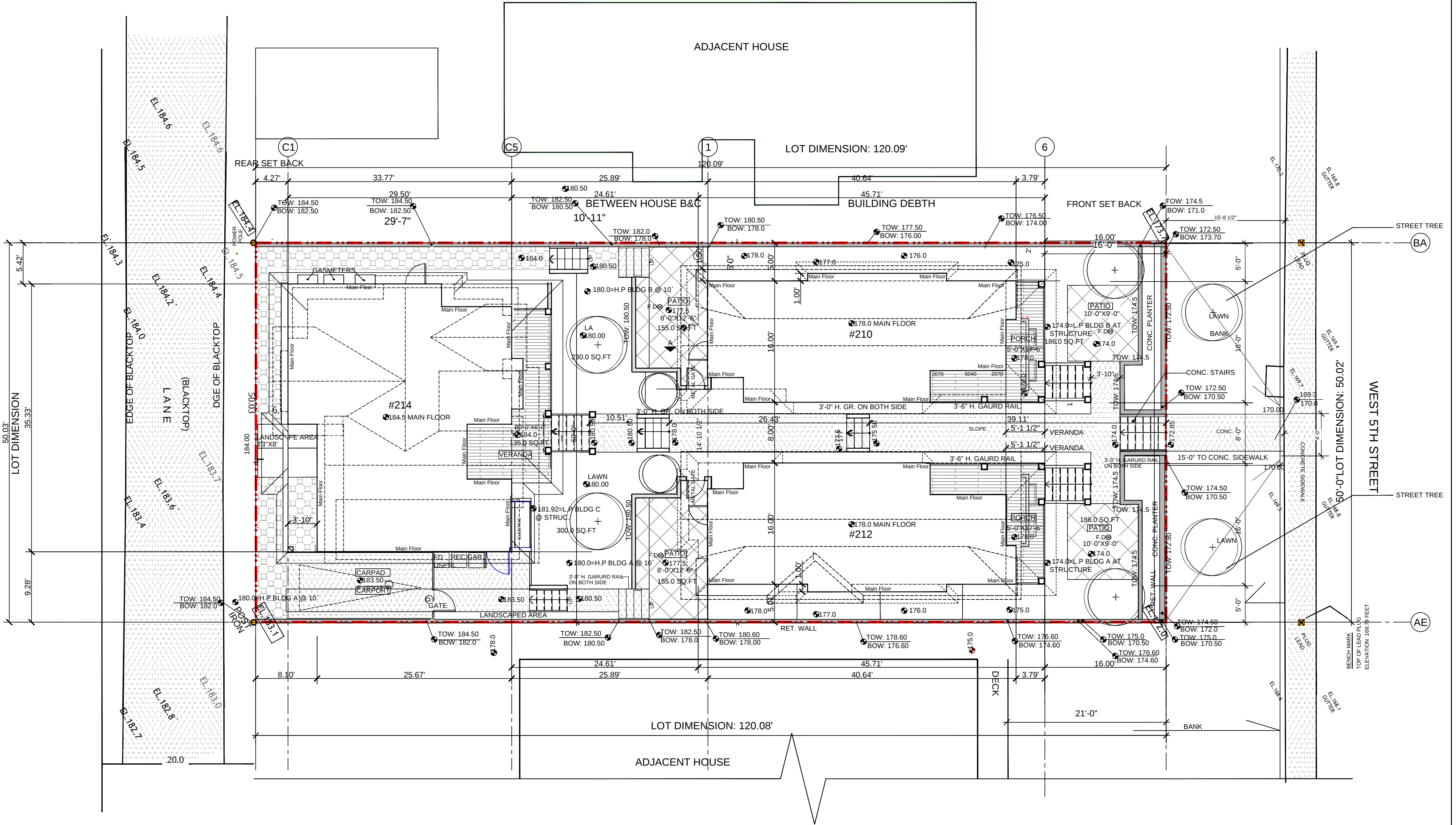


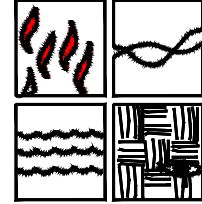
PROPOSED BUILDING AREA SCHEDULE					
BUILDING	BASEMENT	LEVEL1	LEVEL2	VARANDA	BALCONY
BLDG. A	696.62	597.27	664.75	116.91	28.26
BLDG. B	696.62	597.27	629.70	116.91	28.26
BLDG. C	586.72	917.41	885.66	154.93	123.44
SUB-TOTAL	1979.96	2111.95	2180.11	388.75	179.96
TOTAL BUILDINGS AREA		4292.06			
LOT AREA		6007		6007X0.75=4505.25	

GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF PLYSHEATHING AND INTERIOR DIMENSIONS TO CENTER OF STUDS.
2. ALL WORK SHALL CONFORM TO THE BRITISH COLUMBIA BUILDING CODE(2012) AND ALL MUNICIPAL CODES AND BYLAWS.
3. THESE DRAWINGS MUST NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION AND BE RESPONSIBLE FOR SAME. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ALL DISCREPANCIES.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SOIL CONDITIONS AND FOLLOW THE RECOMMENDATIONS OF THE SOIL REPORT IF REQUIRED.
- 5.THE CONTRACTOR TO STUDY ARCHITECTURAL AND STRUCTURAL DRAWING AND NOTIFY ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. PRE-FAB GAS FIREPLACE TO BE INSTALLED MANUFACTURER'S SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CANADIAN GAS ASSOCIATION. INSTALL NON-COMBUSTIBLE HEARTH TO MEET THE REQUIREMENTS OF SUB-SECTION 4.22.5 OF THE BRITISH COLUMBIA BUILDING CODE (2012) FINISH MATERIALS AS PER OWNERS SPECIFICATIONS.
7. ATTIC AND CRAWL SPACE ACCESS SHALL BE MIN. 24" X 30" INSULATED AND WEATHERSTRIPPED.
8. WOOD FRAMING MEMBERS TO BE KILN DRIED DOUGLAS FIR NO.2 OR BETTER.
9. HEATING SYSTEM IS IN-FLOOR HOT WATER RADIANT SYSTEM.
10. CONTRACTOR SHALL CO-ORDINATE WINDOWS AND DOORS WITH ARCHITECT BEFORE ORDERING
- 11.VERNACULAR DESIGN SHALL ISSUE AN "ISSUE FOR CONSTRUCTION" SET UPON ISSUANCE OF BUILDING PERMIT IN ORDER TO INCLUDE ANY BUILDING PERMIT NOTES AND POST SUBMISSION REVISIONS IN ORDER TO AVOID ANY MISINTERPRETATION, ERRORS, OMISSIONS AND MISLABELING DURING THE CONSTRUCTION.
- 12.THE CONTRACTOR TO BE FAMILIARIZED WITH THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK.
- 13.THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, RESPECTIVE PROFESSIONALS AND CONSULTANTS OF ANY DISCREPANCIES, ERRORS AND OMISSIONS FOUND ON CONSTRUCTION DOCUMENT PRIOR TO COMMENCEMENT OF ANY WORK.
14. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE CONSTRUCTION DOCUMENTS PRIOR TO POURING CONCRETE, ORDERING ROOF TRUSSES, WINDOWS AND STRUCTURAL ELEMENTS.
- 15.ALL DIMENSIONS OF ROUGH OPENINGS FOR DOORS, WINDOWS TO BE CAREFULLY REVIEWED PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE NOTED TO THE RESPECTIVE PROFESSIONALS OR CONSULTANTS.
- 16.ALL WALL, FLOOR AND ROOF ASSEMBLIES TO BE REVIEWED PRIOR TO COMMENCEMENT OF ANY WORK.
- 17.DURING THE CONSTRUCTION ANY CHANGES INITIATED BY THE OWNER(S) TO BE HANDLED AND COMMUNICATED VIA THE GENERAL CONTRACTOR TO ARCHITECT AND RESPECTIVE CONSULTANTS. OR NOTIFY THE ARCHITECT AND CONSULTANTS OF ANY CHANGES PRIOR TO THE FINAL UNDERTAKING.



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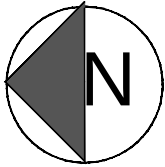


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DRAWING LIST	
A-01	SITE PLAN
A-02	HOUSE A ROOF & FLOOR PLANS
A-03	HOUSE A ELEVATIONS
A-04	HOUSE A SECTIONS
A-05	HOUSE B ROOF & FLOOR PLANS
A-06	HOUSE B ELEVATIONS
A-07	HOUSE B SECTIONS
A-08	HOUSE C BASEMENT AND MAIN PLANS
A-09	HOUSE C UPPER AND ROOF PLANS
A-10	HOUSE C ELEVATIONS
A-11	HOUSE C SECTIONS
A-12	WALL SECTION AND ASSEMBLIES
A-13	DETAILS



REVISION:		
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9	B.P. RESUBMISSION	MAY 09, 2016
10	B.P. RESUBMISSION	OCT 07, 2016
11	B.P. RESUBMISSION	MAY 15, 2017

5TH ST.TRIPLEX

210,212 & 214 WEST 5TH ST.
NORTH VANCOUVER

SITE PLAN

DATE:
NOV, 2013

CHECKED BY :
-M.R.
-R.CH

DRAWN BY:
R.CH

SCALE: 1/8" = 1FT

DRAWING NO. :

A -01

ROOF PLAN

BASEMENT FLOOR

BASEMENT 696.62 SQ.FT

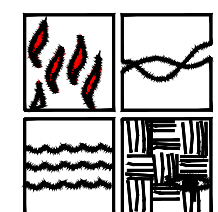
UPPER FLOOR

L2 664.75 SQ.FT
BALCONY 28.26 SQ.FT

MAIN FLOOR

L1 597.27 SQ.FT
VERANDA 116.91 SQ.FT

Vernacular

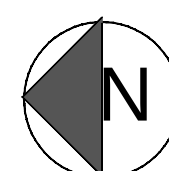


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9	B.P. RESUBMISSION	MAY 09, 2016
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5TH ST.TRIPLEX

212 WEST 5TH ST.
NORTH VANCOUVER

HOUSE A
ROOF &
FLOOR PLANS

DATE:
NOV, 2013

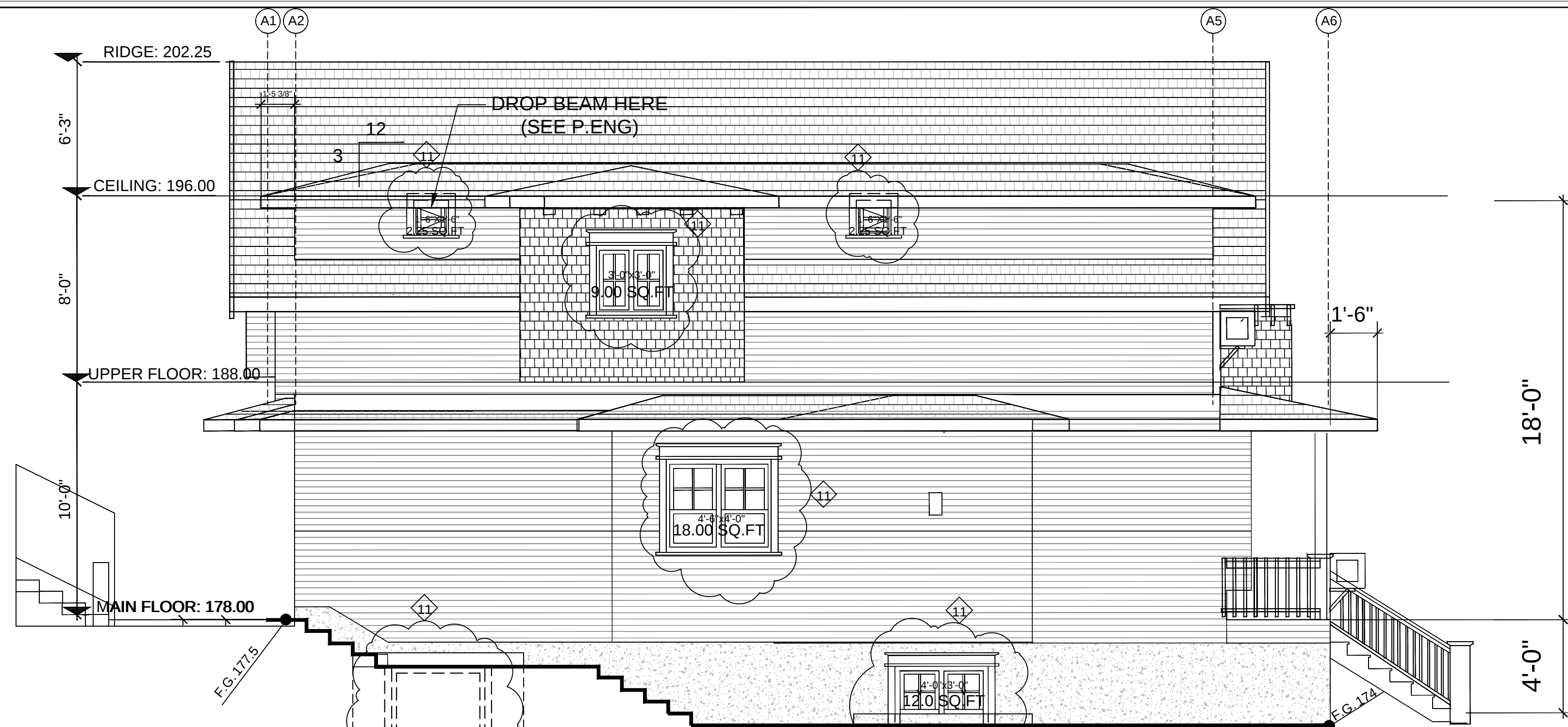
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-M.R.
-R.CH

DRAWN BY:
R.CH

SCALE: 1/4" = 1 FT

DRAWING NO. :

A-02

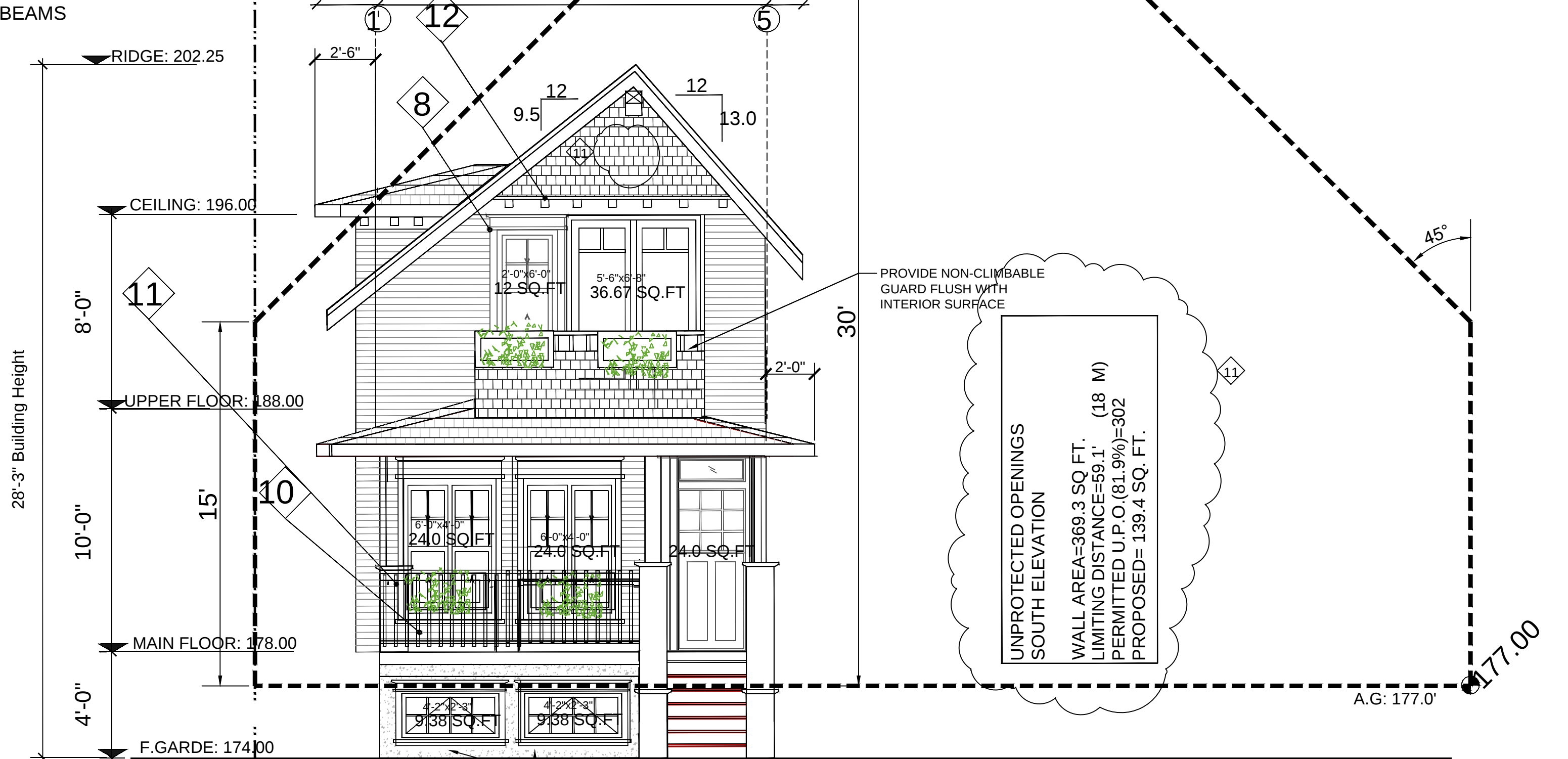
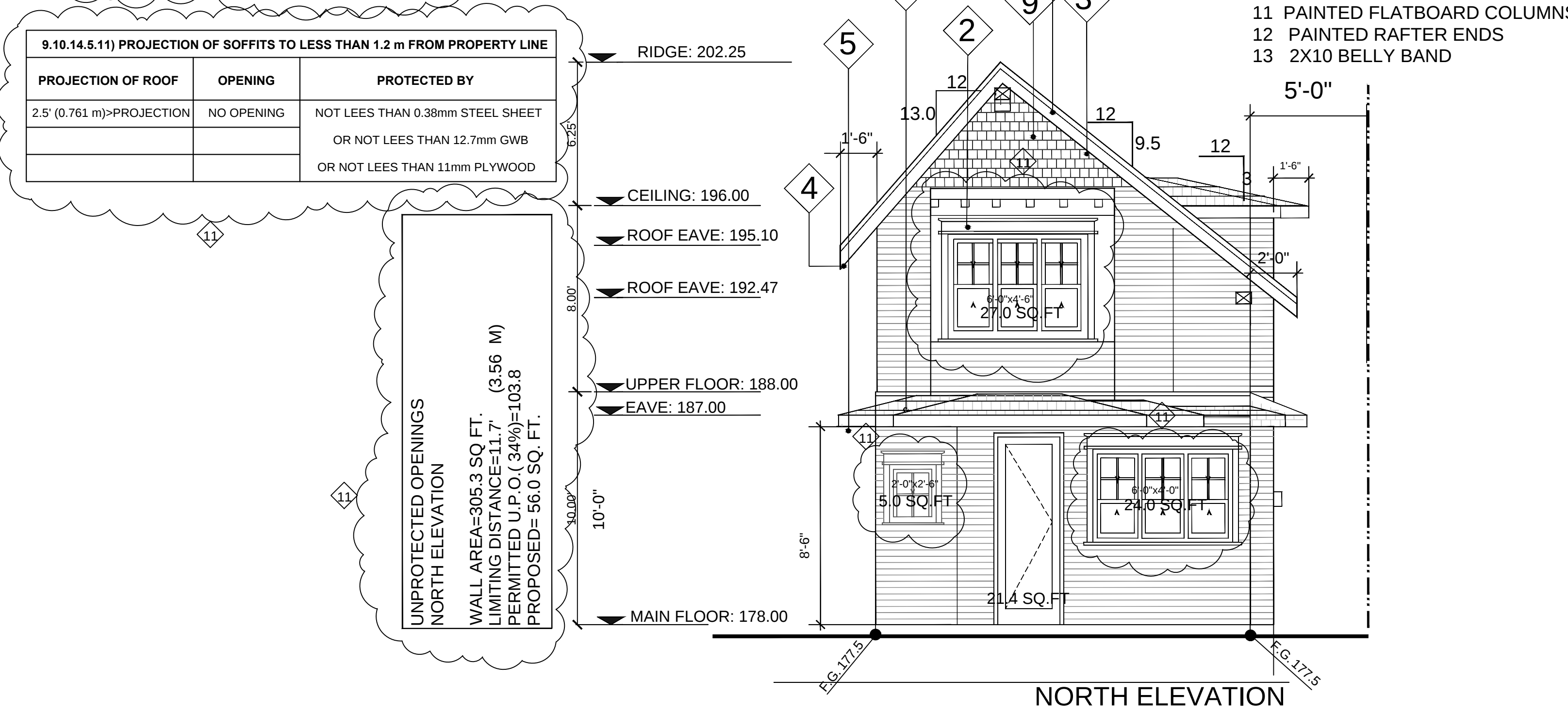


UNPROTECTED OPENINGS
WEST ELEVATION

WALL AREA=884.8 SQ. FT.
LIMITING DISTANCE=4'0" (1.2 M)
PERMITTED U.P.O. (7.07%)=62.55 SQ. FT.
PROPOSED= 43.5 SQ. FT.

UNPROTECTED OPENINGS
EAST ELEVATION

WALL AREA=740.0 SQ. FT.
LIMITING DISTANCE=4'0" (1.22 M)
PERMITTED U.P.O. (7.07%)=52.3 SQ. FT.
PROPOSED= 47.07 SQ. FT.



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212
TRIPLEX

HOUSE A
ELEVATIONS

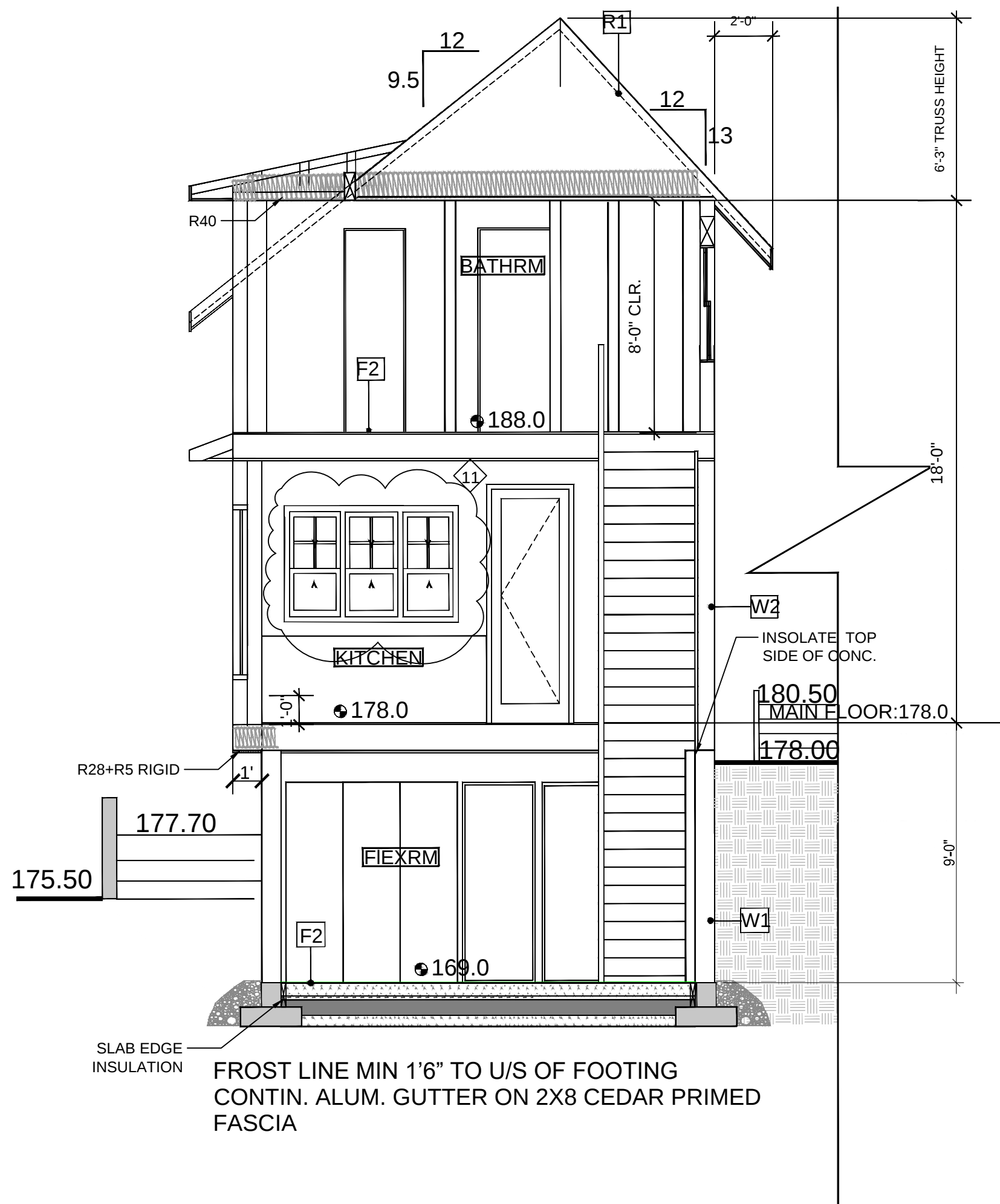
DATE:
NOV. 2013

CHECKED BY :
-M.R.
-R.CH

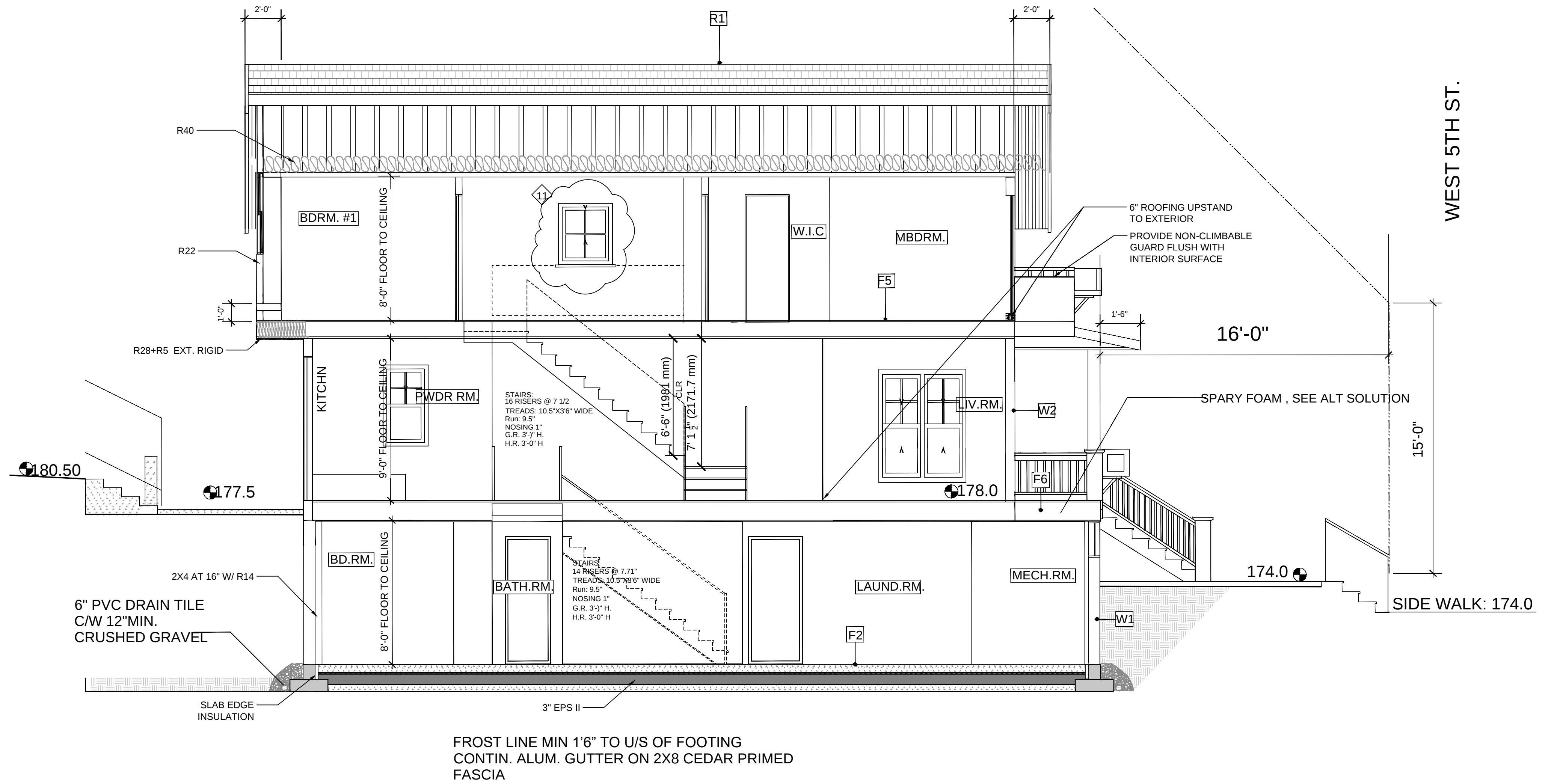
DRAWN BY:
R.CH

SCALE: 1/4" = 1'FT

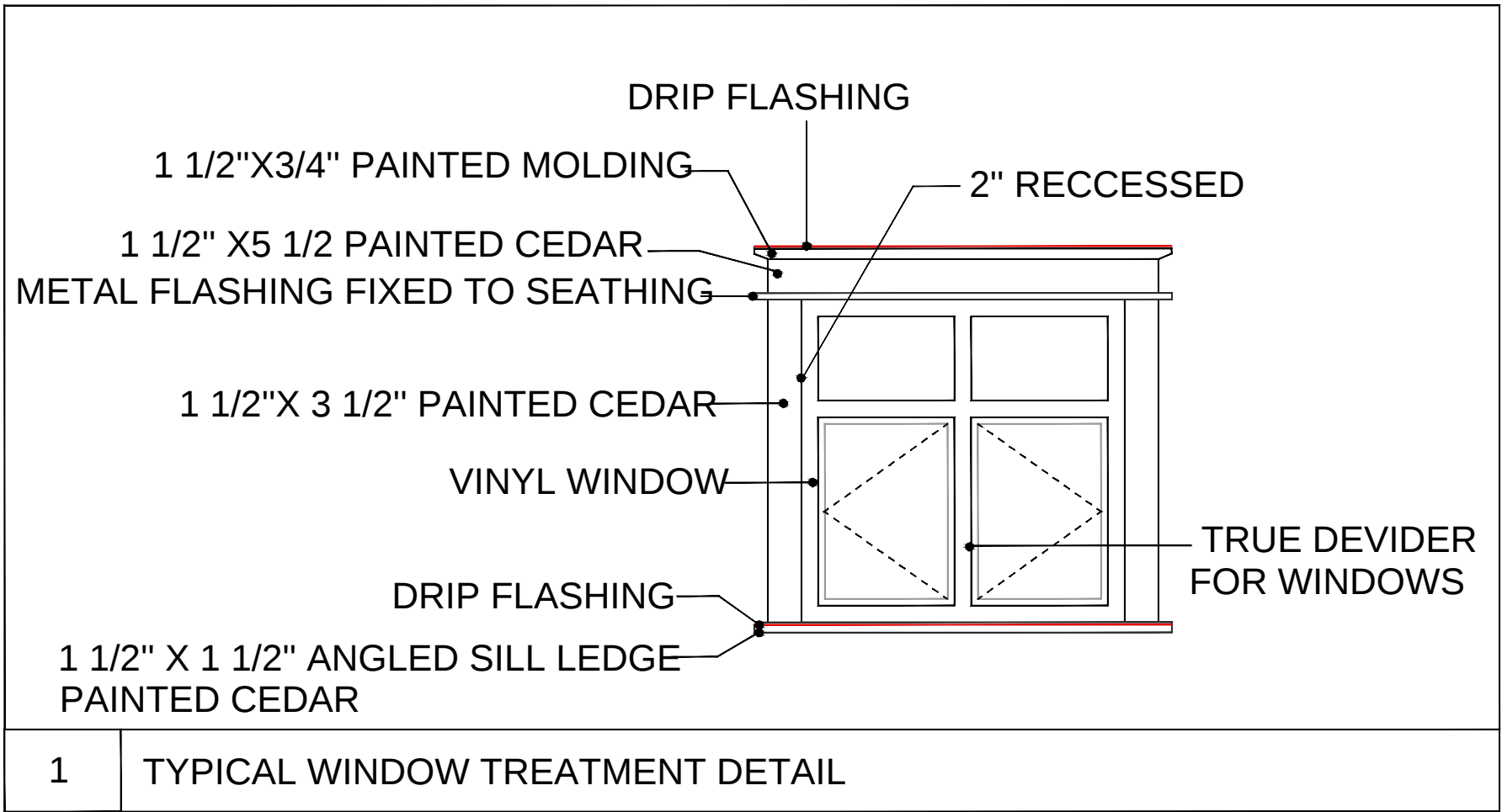
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SECTION BB

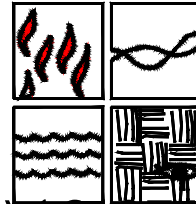


SECTION AA



1 TYPICAL WINDOW TREATMENT DETAIL

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HOUSE A
SECTIONS

DATE:
NOV, 2013

CHECKED BY :
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-R.CH

DRAWN BY:
R.CH

SCALE: 1/4 = 1FT

DRAWING NO. :

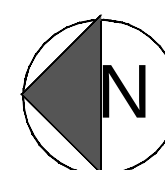
A-04



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5TH ST.TRIPLEX

210 WEST 5TH ST.
NORTH VANCOUVER

HOUSE B
ROOF &
FLOOR PLANS

DATE:
NOV, 2013

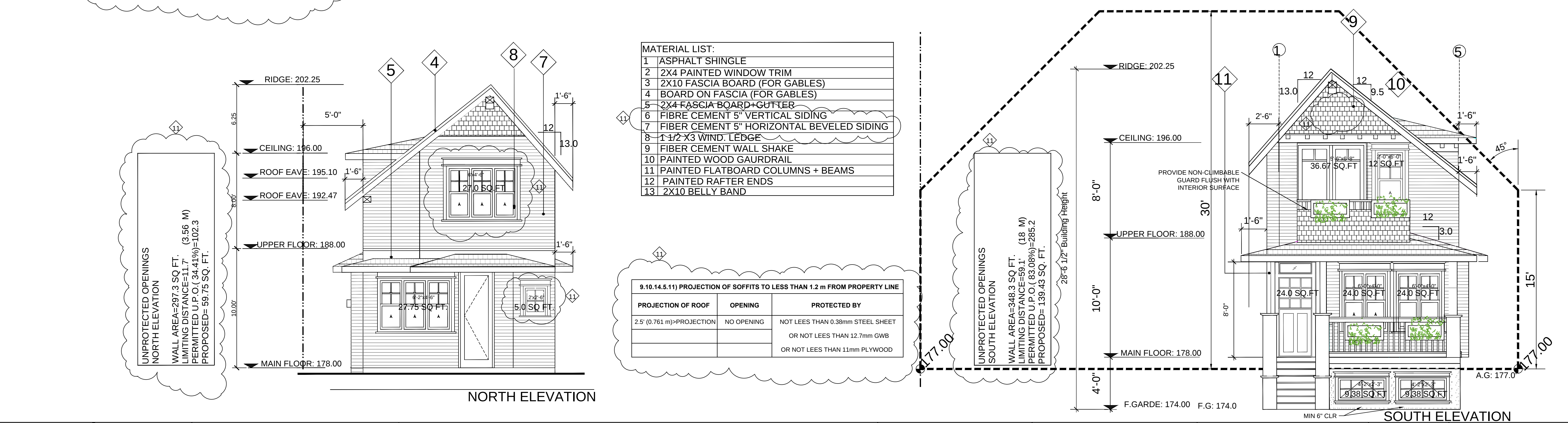
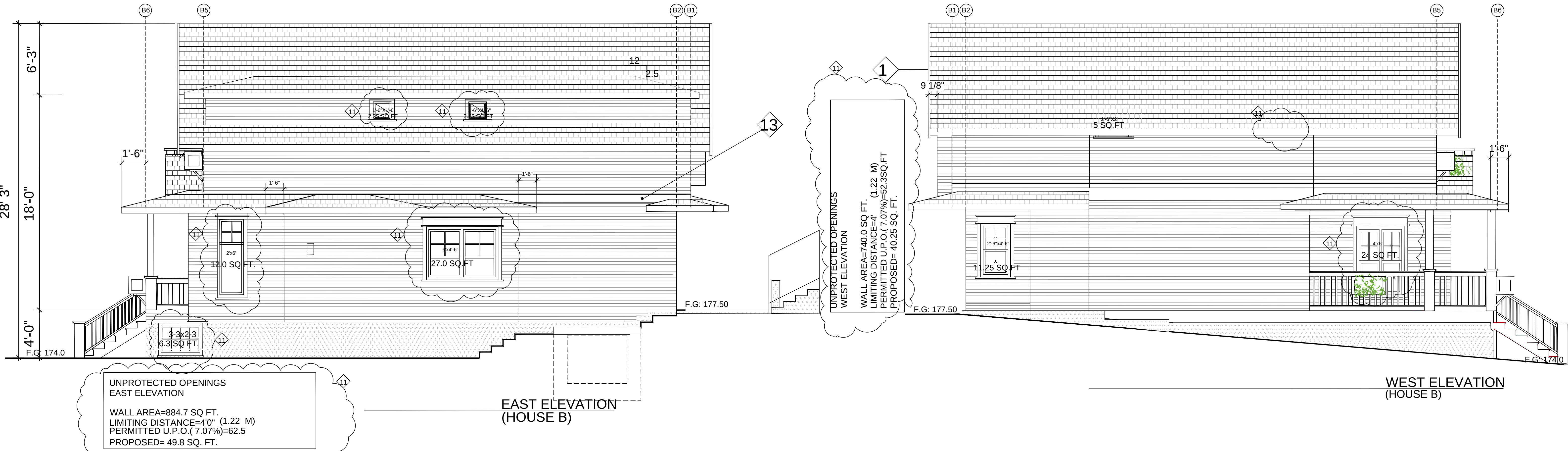
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-R.CH

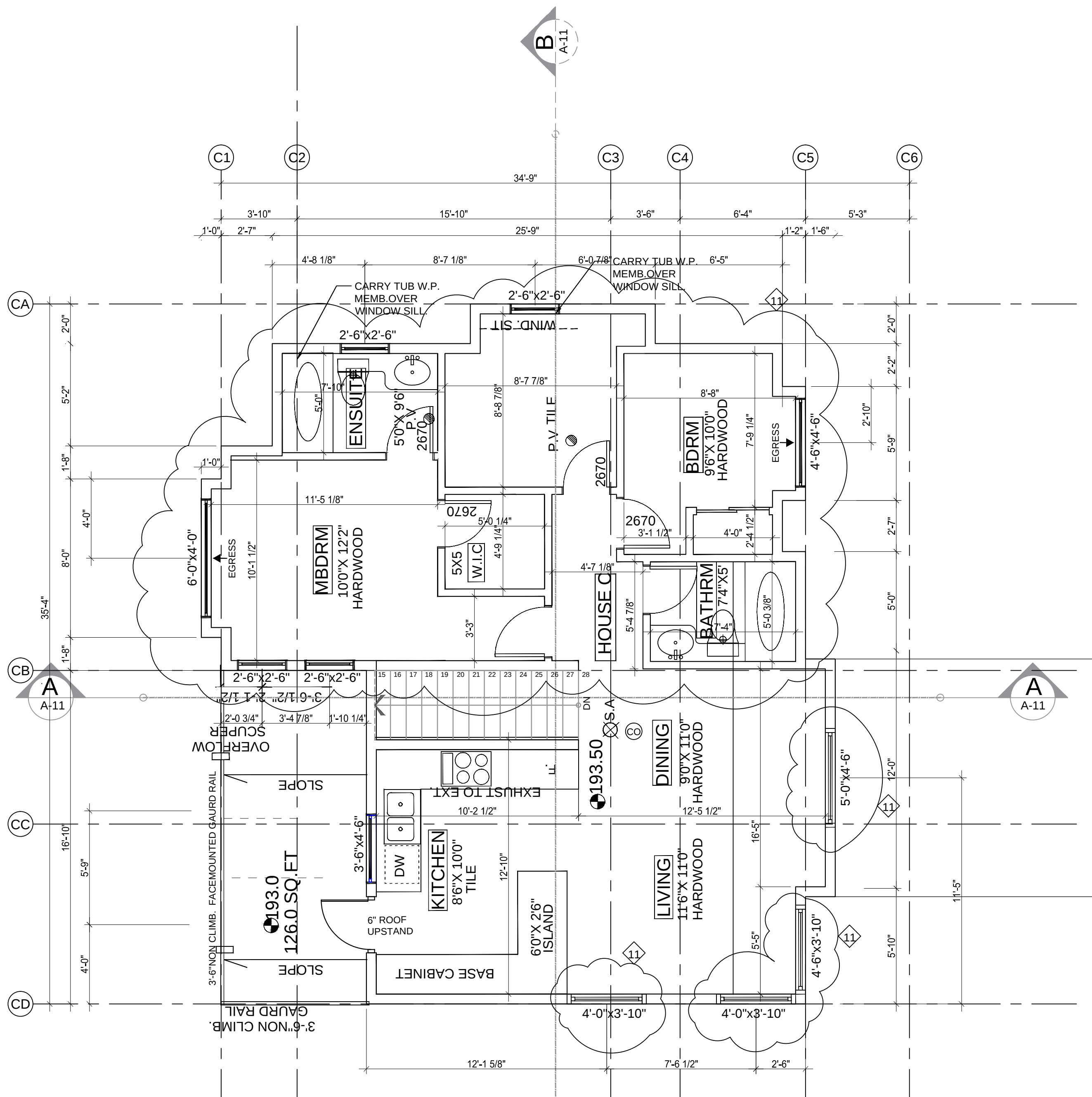
DRAWN BY:
R CH

SCALE: 1/4" = 1FT

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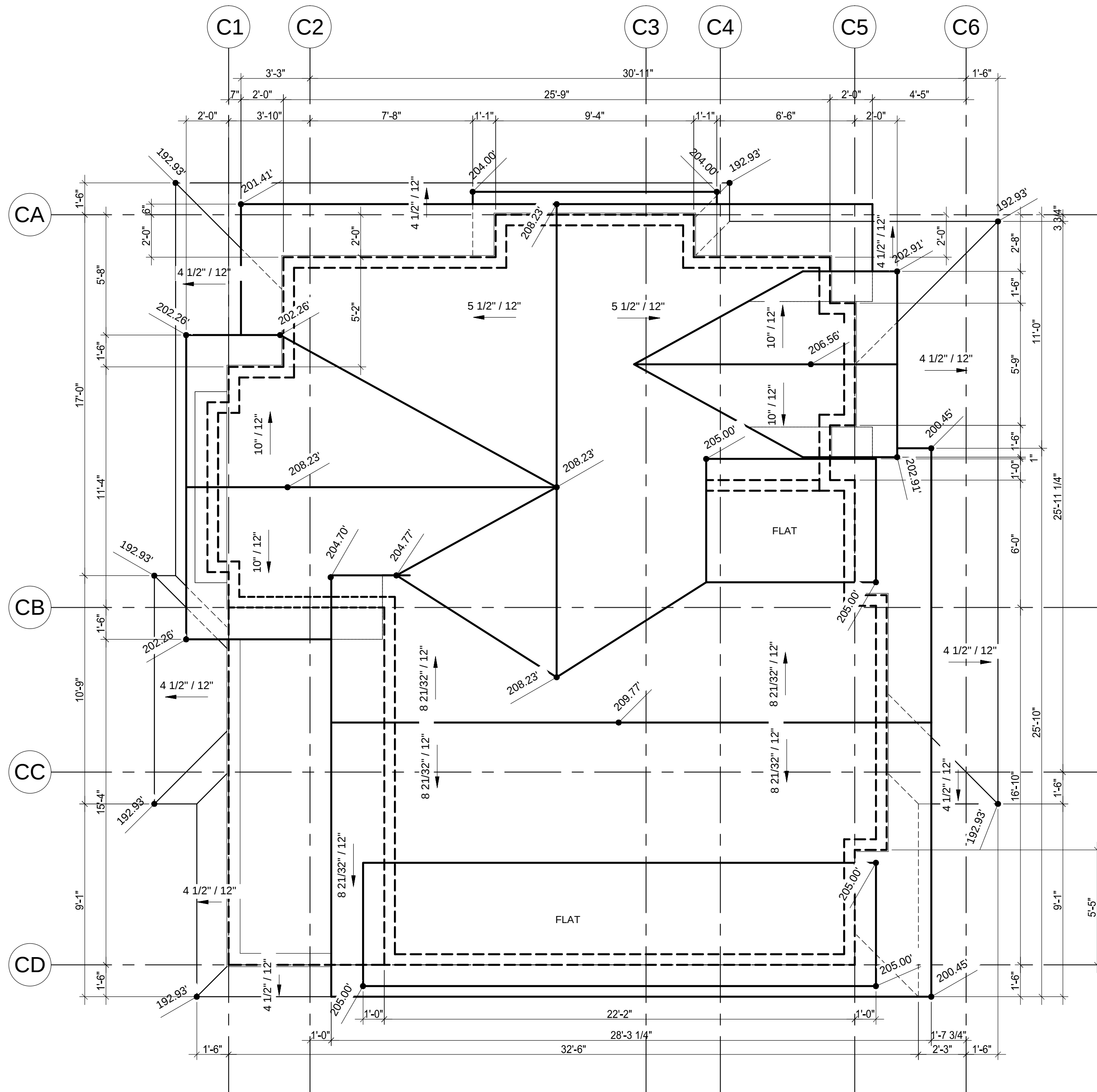
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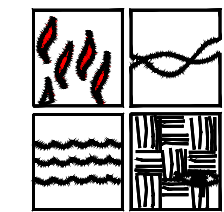
UPPER FLOOR

L2 AREA 885.66 SQ.FT
BALCONY AREA 123.44 SQ.FT



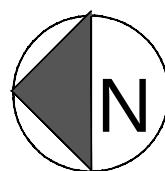
ROOF PLAN

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5TH ST. TRIPLEX

214 WEST 5TH ST.
NORTH VANCOUVER

UPPER & ROOF PLANS

DATE:
NOV, 2013

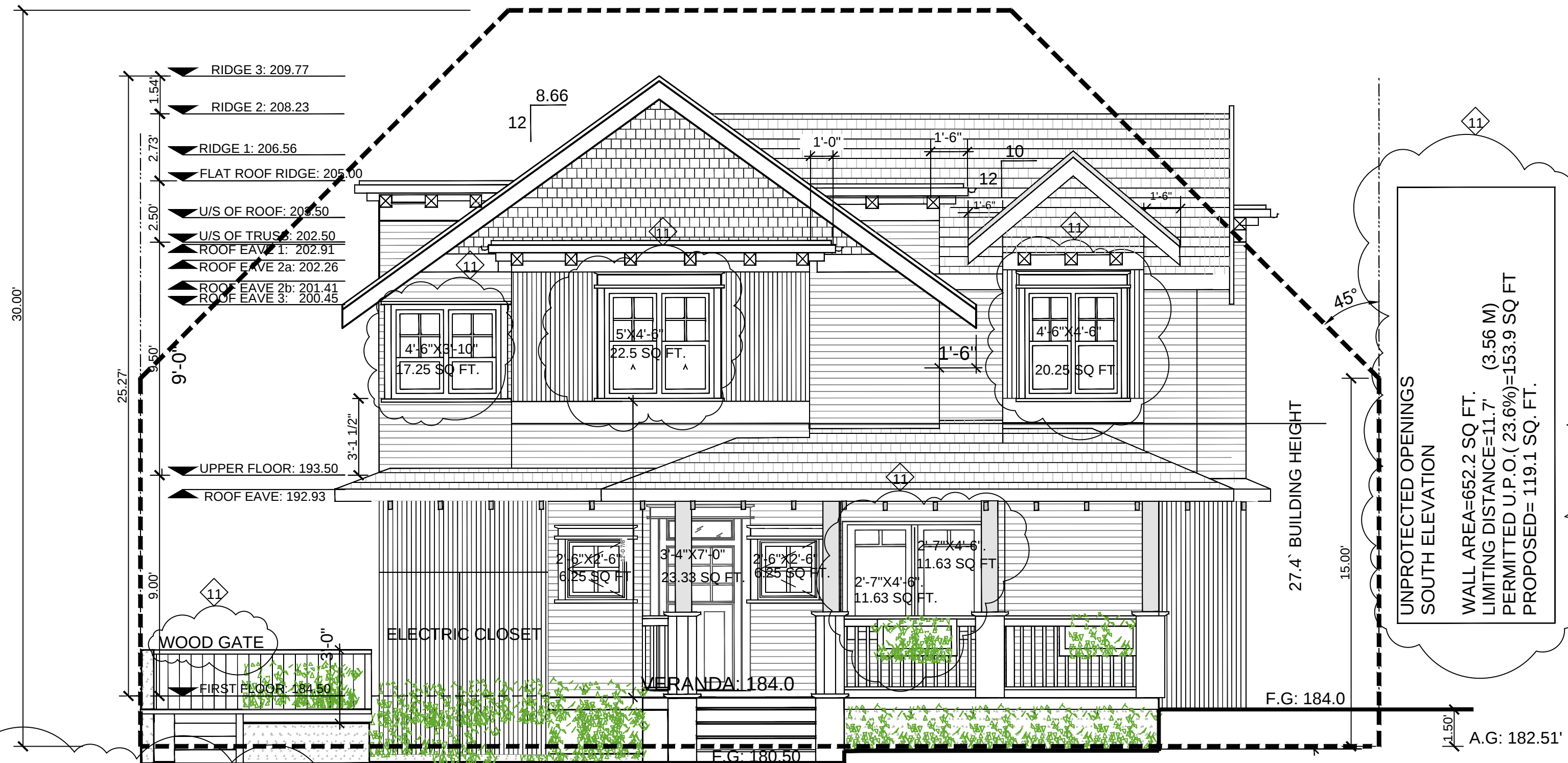
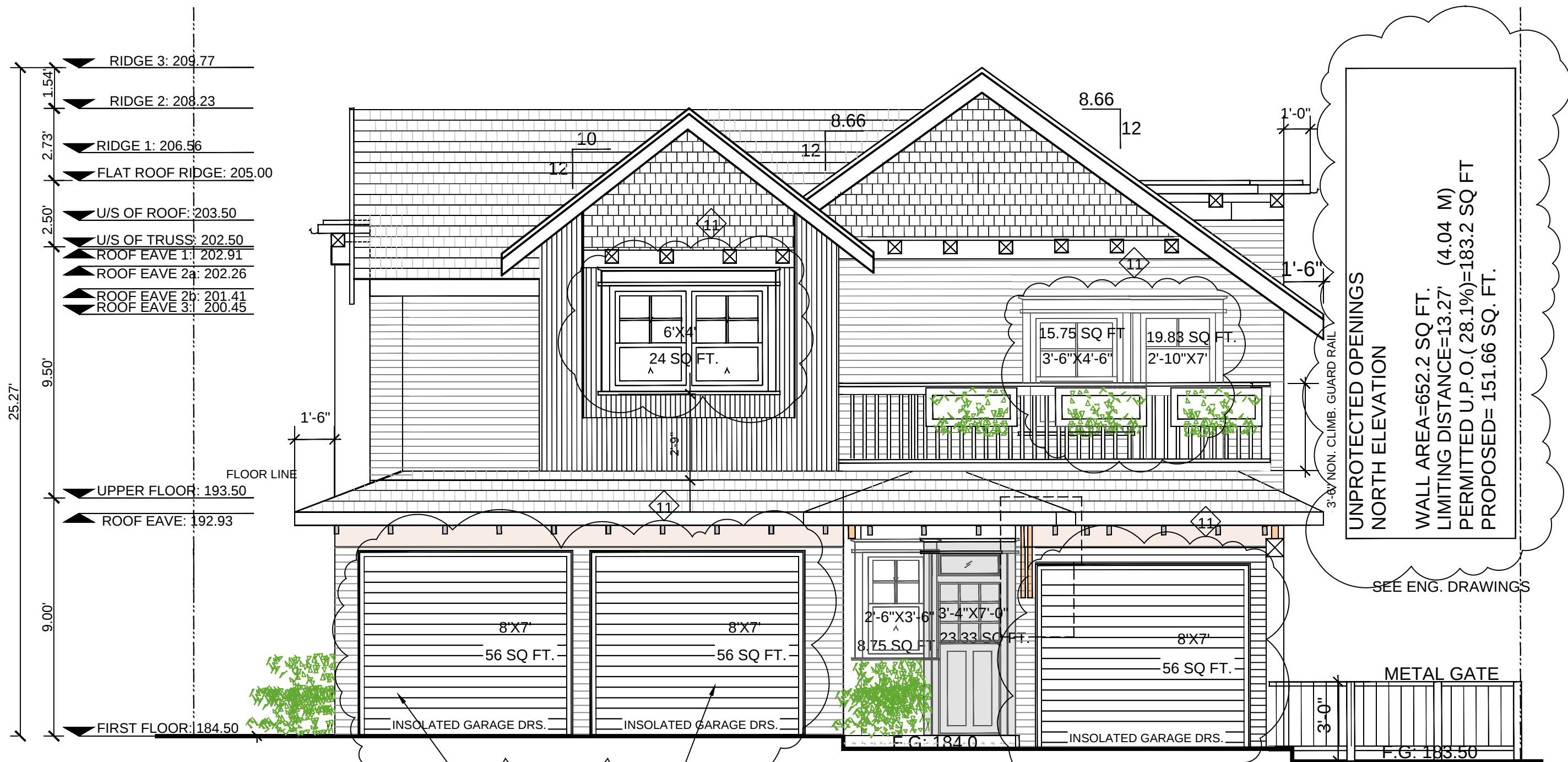
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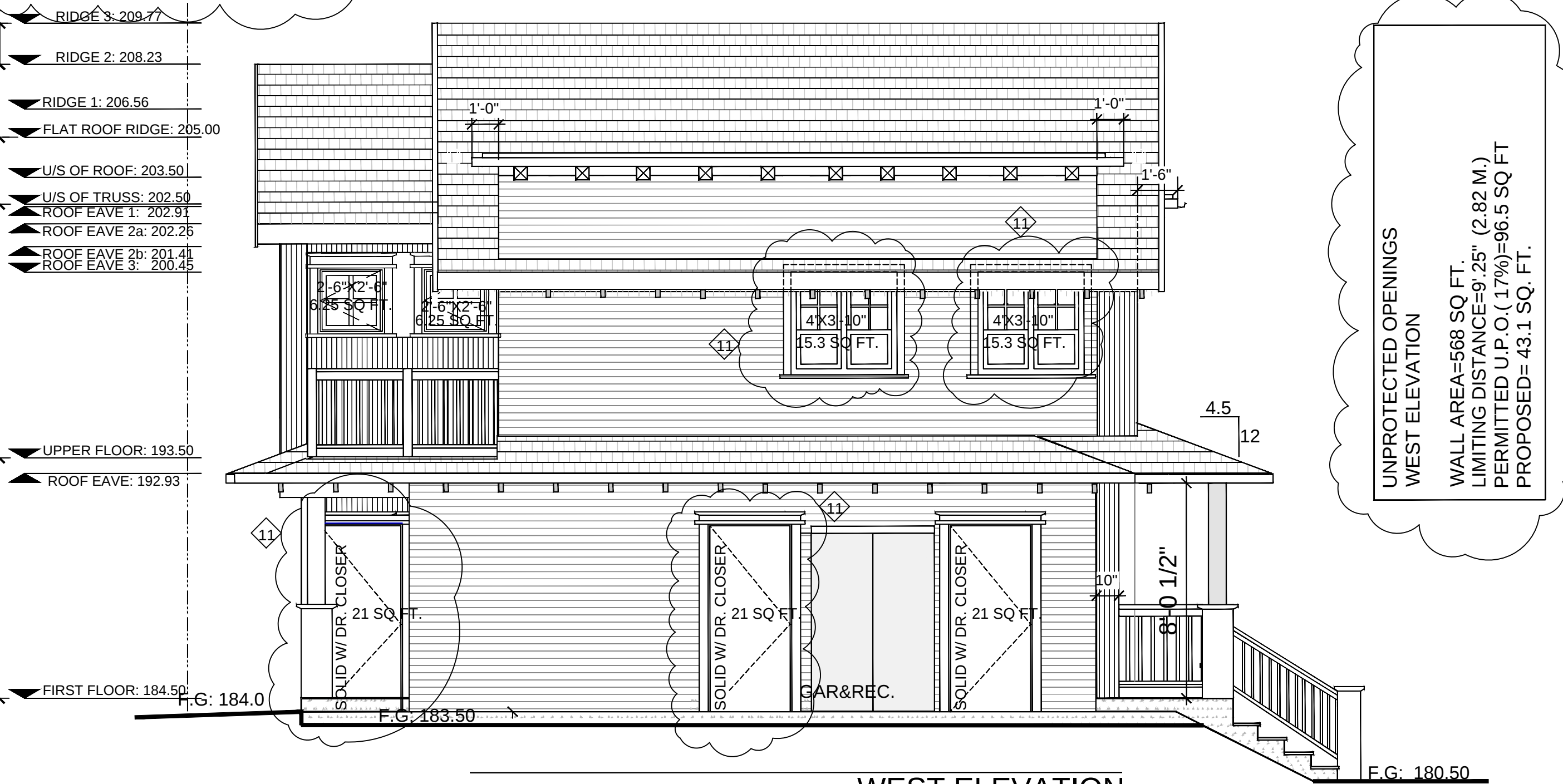
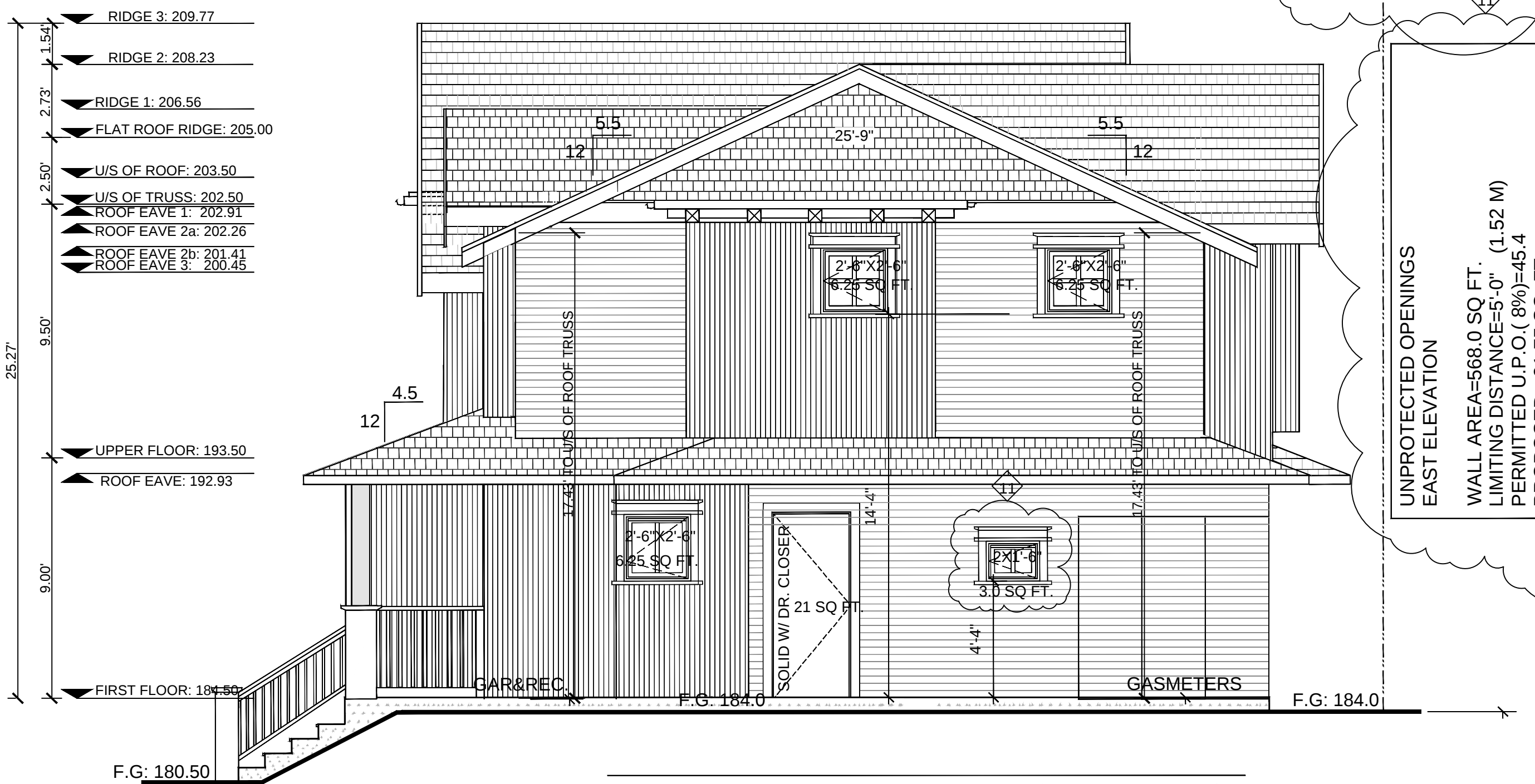
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DRAWING NO. :

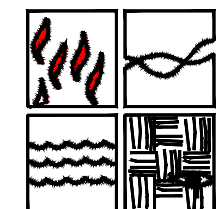
A-09



9.10.14.5.11) PROJECTION OF SOFFITS TO LESS THAN 1.2 m FROM PROPERTY LINE		
PROJECTION OF ROOF	OPENING	PROTECTED BY
2.5' (0.761 m)>PROJECTION	NO OPENING	NOT LEES THAN 0.38mm STEEL SHEET OR NOT LEES THAN 12.7mm GWB OR NOT LEES THAN 11mm PLYWOOD



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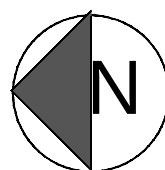
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214
TRIPLEX

ELEVATIONS
HOUSE C

DATE:
NOV. 2013

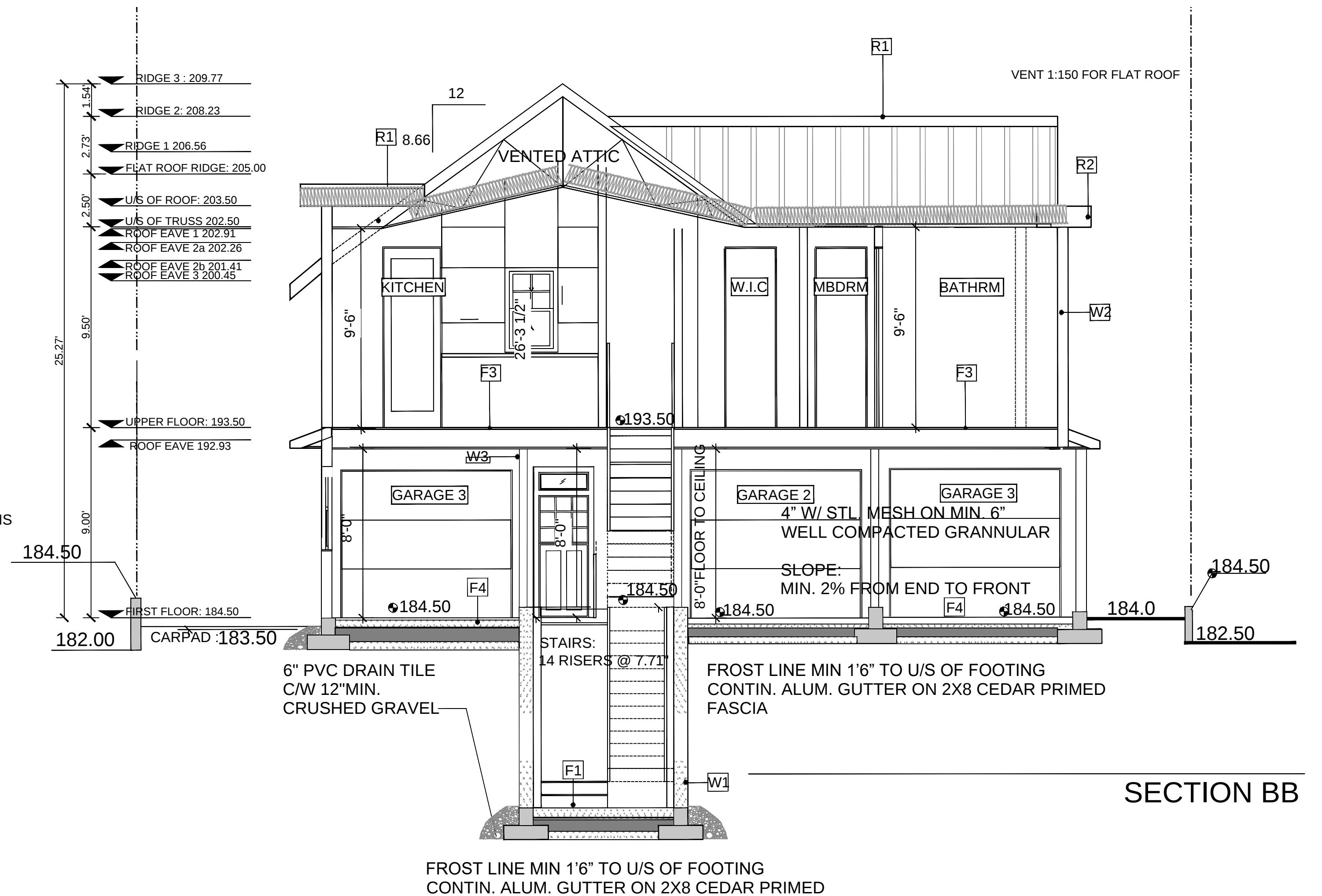
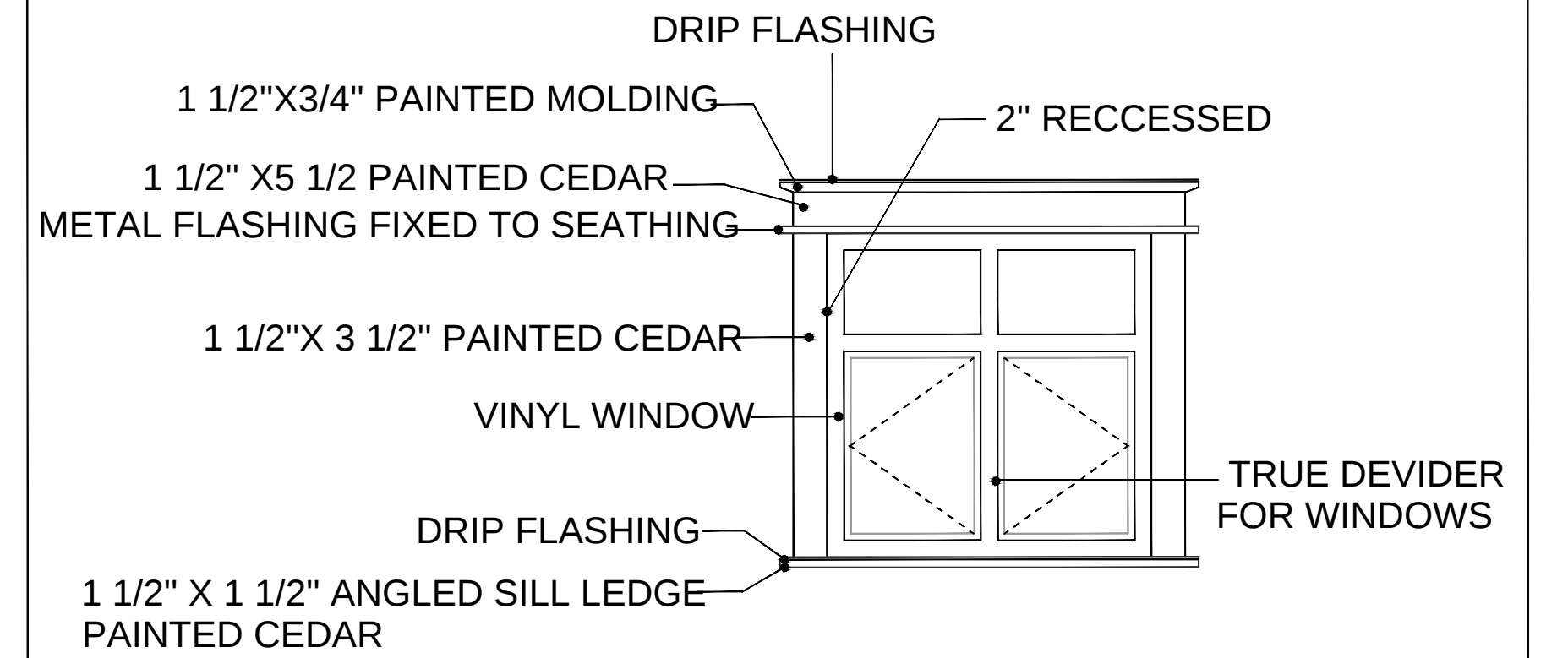
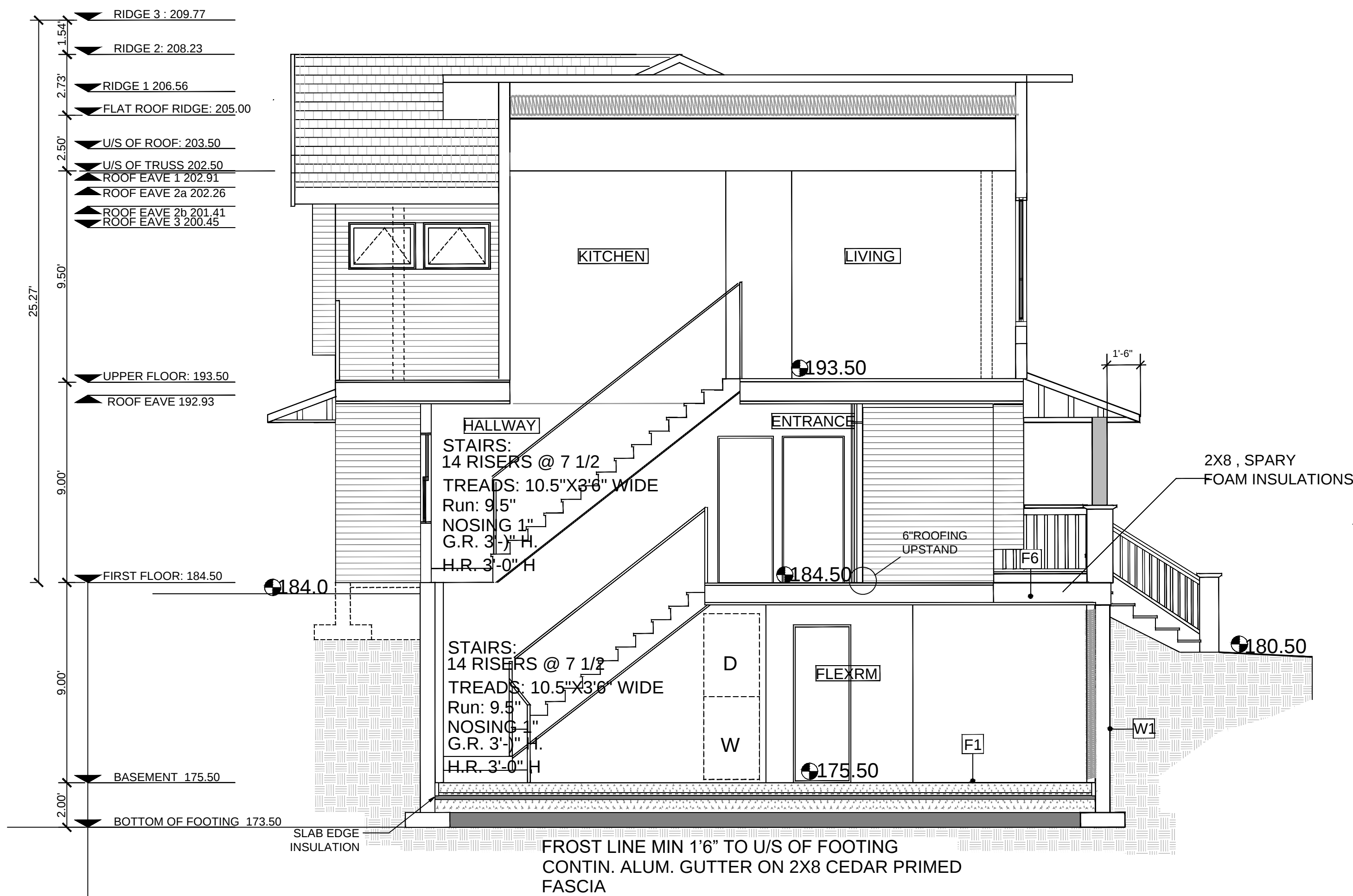
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R.CH

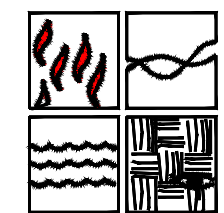
SCALE: 1/4" = 1FT

DRAWING NO.

A-10



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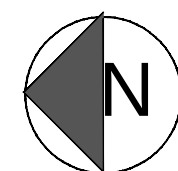
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212-214
TRIPLEX

SECTIONS
HOUSE C

DATE:
NOV, 2013

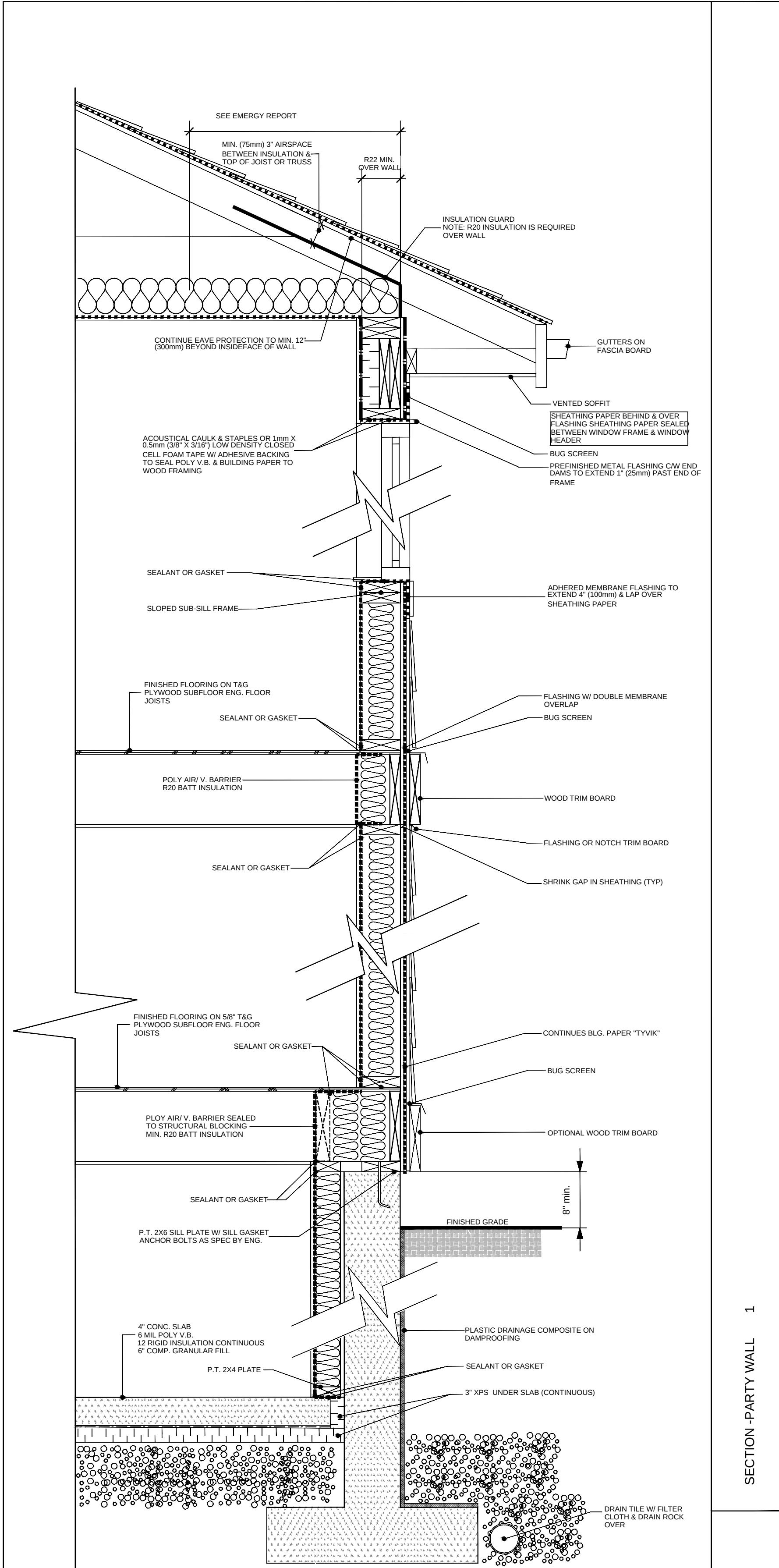
CHECKED BY :
-M.R.
-R.CH

DRAWN BY:
R.CH

SCALE: 1/4" = 1FT

DRAWING NO.:

A-11



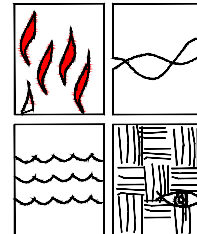
W1	FOUNDATION WALL (BELOW GRADE)	
	• 2 COATS OF DAMPPROOFING	0.00
	• 8" CONC. STRUCT. FOUND. WALL	0.08
	• 1" AIR SPACE	0.18
	• 2X4 STUDS @ 16 O.C.	
	• R14 F/G BATT INSULATION	
	• CAVITY [100/(16/.76+84/2.46)]	1.81
	• 6 MIL. POLY V.B.	0.00
	• ½" G.W.B.	0.08
	• INSIDE AIR FILM	0.12
	• REQUIRED RSI VALUE	1.96
	• EFFECTIVE RSI VALUE	2.27
W2	EXTERIOR WALL ABOVE GRADE-HARDIE BOARD	
	• OUTSIDE AIR FILM	0.03
	• HARDI BOARD	0.02
	• ½" (12.7) AIR SPACE	0.16
	• ½" VERTICAL FURRING	0.00
	• ½" PLY SHEATHING	0.11
	• R22 BATT INSULATION	
	• 2X6 STUDDS @ 16" O.C.	
	• CAVITY [100/(23/1.19+77/3.87)]	2.55
	• 6 MIL. POLY V.B.	0.00
	• ½" G.W.B.	0.08
	• INSIDE AIR FILM	0.12
	• REQUIRED RSI VALUE	2.78
	• EFFECTIVE RSI VALUE	3.07
W3	DEMISING/RATED WALL BTWN GARAGE & DWELLING (UNIT C)	
	• OUTSIDE AIR FILM	0.03
	• 5/8" TYPE "X" G.W.B.	0.08
	• 2X6 STUDS @ 16 O.C.	
	• R22 F/G BATT INSULATION	
	• CAVITY [100/(23/1.19+77/3.87)] =	2.55
	• ½" PLYWOOD (FOR SW)	0.14
	• 6 MIL. POLY V.B.	0.00
	• 5/8" TYPE "X" G.W.B.	0.08
	• INSIDE AIR FILM	0.11
	• REQUIRED RSI VALUE	2.78
	• EFFECTIVE RSI VALUE	3.26

R1	ROOF OVER ATTIC (CEILING BELOW ATTIC)	
	• OUTSIDE AIR FILM	0.03
	• ASPHALT SHINGLE	0.00
	• 1/2" T/G PLYWOOD SHEATHING	0.00
	• TRUSS W/ 2X4 BOTTOM CORD 24" O.C.	
	• FILLED W/ 3.5" LOOSE FIBER	
	• CAVITY [100/(11/.75+89/2.36)] =	2.32
	• 10". F/G BATT INSULATION R31	4.42
	• 6 MIL. POLY V.B.	0.00
	• ½" G.W.B.	0.08
	• INSIDE AIR FILM	0.11
	• REQUIRED RSI VALUE	6.91
	• EFFECTIVE RSI VALUE	6.96
R2	FLAT ROOF OVER HEATED AREA (DECK & FLAT ROOF)	
	• OUTSIDE AIR FILM	0.03
	• FLOOR OR ROOF FINISH AS PER PLAN	0.00
	• ASPHALT ROLLED ROOFING	0.00
	• 2 LAYERS OF APPV'D MEMBRANE	0.00
	• 5/8" T/G PLYWOOD SUBFLOOR	0.00
	• 1½"X3½" PURLINS (AIR SPACE)	0.00
	• 2X10 FLR JOISTS (SEE STRUCTURE)	
	• R28. F/G BATT INSULATION 32	
	• CAVITY [100/(10/2.0+90/4.93)]	4.56
	• 7'-0" CROSS BRIDGING	0.00
	• 6 MIL. POLY V.B.	0.00
	• ½" G.W.B.	0.08
	• INSIDE AIR FILM	0.11
	• REQUIRED RSI VALUE	4.67
	• EFFECTIVE RSI VALUE	4.28

P1	INTERIOR PARTITIONS	
	• ½" G.W.B.	
	• 2X4 STUDS @ 16" O.C. INSULATION BTWN BATHROOMS AND MECHANICAL AND LNDRY	
P2	INTERIOR PARTITIONS @ WET AREAS	
	• CERAMIC TILES	
	• 3/8" CEMENT BOARD OR EQ.	
	• 2X4 STUDS @ 16" O.C.	
	• 4" F/G SOUND INSULATION	
	• ½" G.W.B.	

F1	CONCRETE SLAB-ON-GRADE (GARAGE)	
	• STEEL TROWL FINISH	
	• 6" CONCRETE SLAB	
	• 6" MIN. WELL COMPACTED GRANULAR FILL	
	• CONCRETE SLAB-ON-GRADE (HEATED UNHEATED BASEMENT FLOOR)	
F2	• INSIDE AIR FILM	0.16
	• FLOOR LAMINATE BOARD	0.01
	• UNDERLAY	0.00
	• 3 ½" CONCRETE SLAB	0.035
	• R 12 RIGID INSULATION ENTIRE FLOOR	2.11
	• 6 MIL. POLY V.B.	0.00
	• 6" MIN. WELL COMPACTED GRANULAR FILL	
	• REQUIRED RSI VALUE	2.32
	• EFFECTIVE RSI VALUE	2.32
F3	FLOOR OVER UNHEATED AREA (GARAGE) UNIT C	
	• INSIDE AIR FILM	0.11
	• FLOOR FINISH	0.00
	• 5/8" T/G PLYWOOD SUB-FLOOR	0.13
	• 2X10 FLR JOISTS OR TJI (SEE STRUCTURE)	
	• R28 BATT INSULATION	
	• CAVITY [100/(23/1.99+77/4.93)]	4.14
	• 7'-0" CROSS BRIDGING	0.00
	• 1" RIGID R5 INSULATION	0.88
	• ½" G.W.B.	0.08
	• EXTERIOR AIR FILM	0.03
	• REQUIRED RSI VALUE	4.67
	• EFFECTIVE RSI VALUE	5.37
F4	EXTERIOR FLOOR ABOVE GRADE-BOX WINDOW & FLOOR OF MASTER BEDROOM ABOVE PROCH	
	• AIR FILM (EXTERIOR)	0.03
	• SOFFIT	0.00
	• 1" XPS INSULATION R5	0.88
	• R28 BATT INSULATION	
	• 2X10JOISTS @ 16" O.C.	
	• CAVITY [100/(23/1.99+77/4.93)] =	4.14
	• 5/8" SUBFLOORING	0.13
	• INSIDE AIR FILM	0.12
	• REQUIRED RSI VALUE	4.67
	• EFFECTIVE RSI VALUE	5.37
F5	TYPICAL HEATED INTERIOR FLOOR	
	• FLOOR FINISH AS PER PLAN	
	• 5/8" T/G SUB-FLOOR	
	• 2X10 FLR JOISTS OR TJI (SEE STRUCTURE)	
	• ½" G.W.B.	
F6	FLAT ROOF OR DECK OVER HEATED AREA	
	• OUTSIDE AIR FILM	0.03
	• FLOOR OR ROOF FINISH AS PER PLAN	0.00
	• ASPHALT ROLLED ROOFING	0.00
	• 2 LAYERS OF APPV'D MEMBRANE	0.00
	• 5/8" T/G PLYWOOD SUBFLOOR	0.00
	• 2X8 FLR JOISTS (SEE STRUCTURE)	
	• SPARY FOAM INSULATION 1/2 LBS. CLOSED CELL.FIBER R31	
	• CAVITY [100/(10/2.0+90/5.21)]	4.50
	• 7'-0" CROSS BRIDGING	0.00
	• 6 MIL. POLY V.B.	0.00
	• ½" G.W.B.	0.08
	• INSIDE AIR FILM	0.11
	• REQUIRED RSI VALUE	4.67
	• EFFECTIVE RSI VALUE	4.78

Vernacular
design



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2	B.P RESUBMISSION	OCT.07, 2016
1	B.P.A.	JAN. 06, 2016
No.	Issue for	DATE

PROJECT:

WEST 5TH TRIPLEX

NORTH VANCOUVER, BC

DRAWING TITLE:

WALL ASSEMBLIES &
WALL SECTION

DATE:
DEC 2015

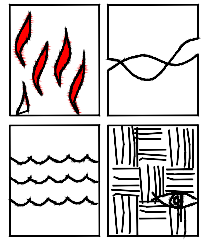
DRAWN BY :
DR

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M.R.

SCALE: 1/2"

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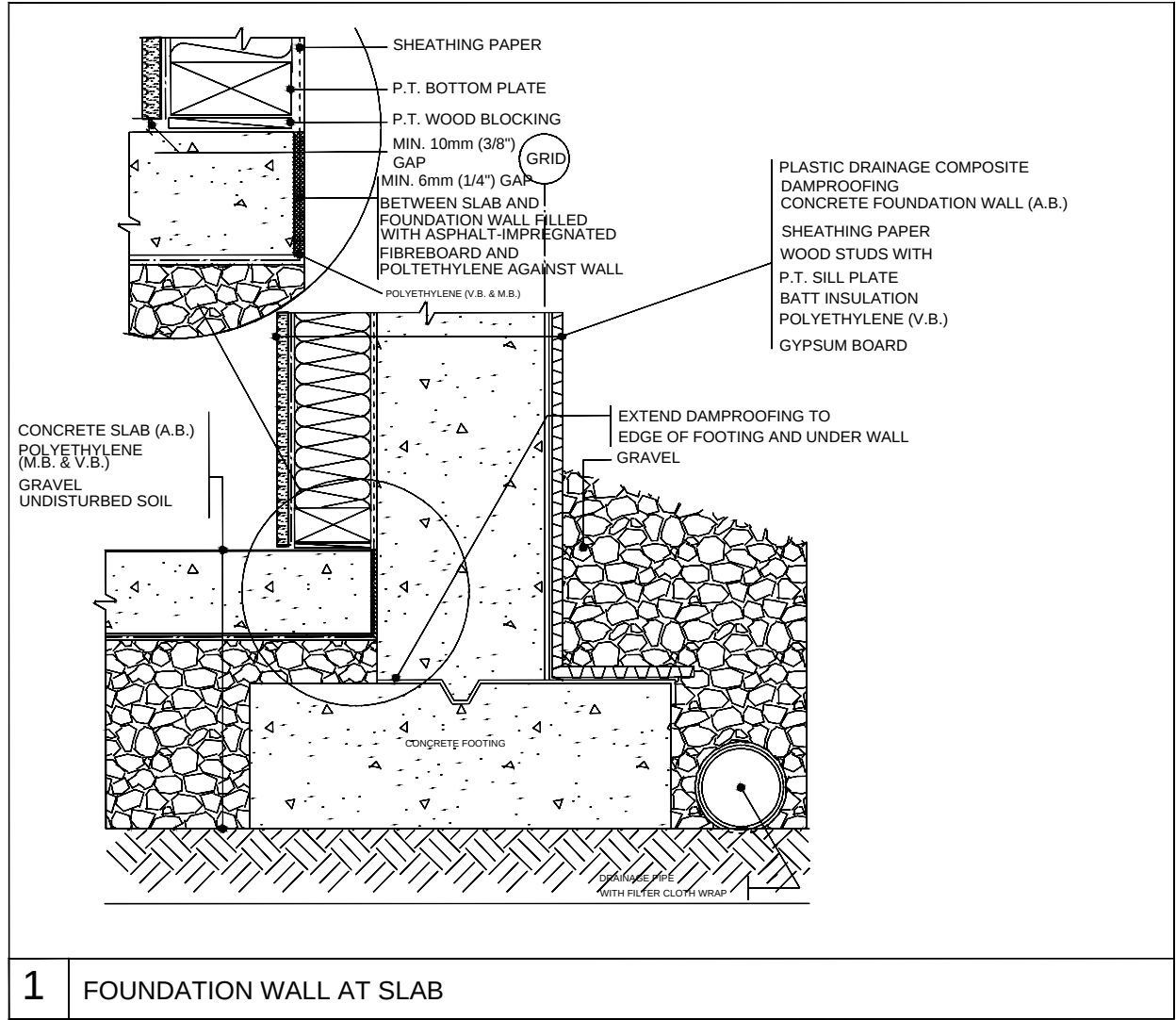
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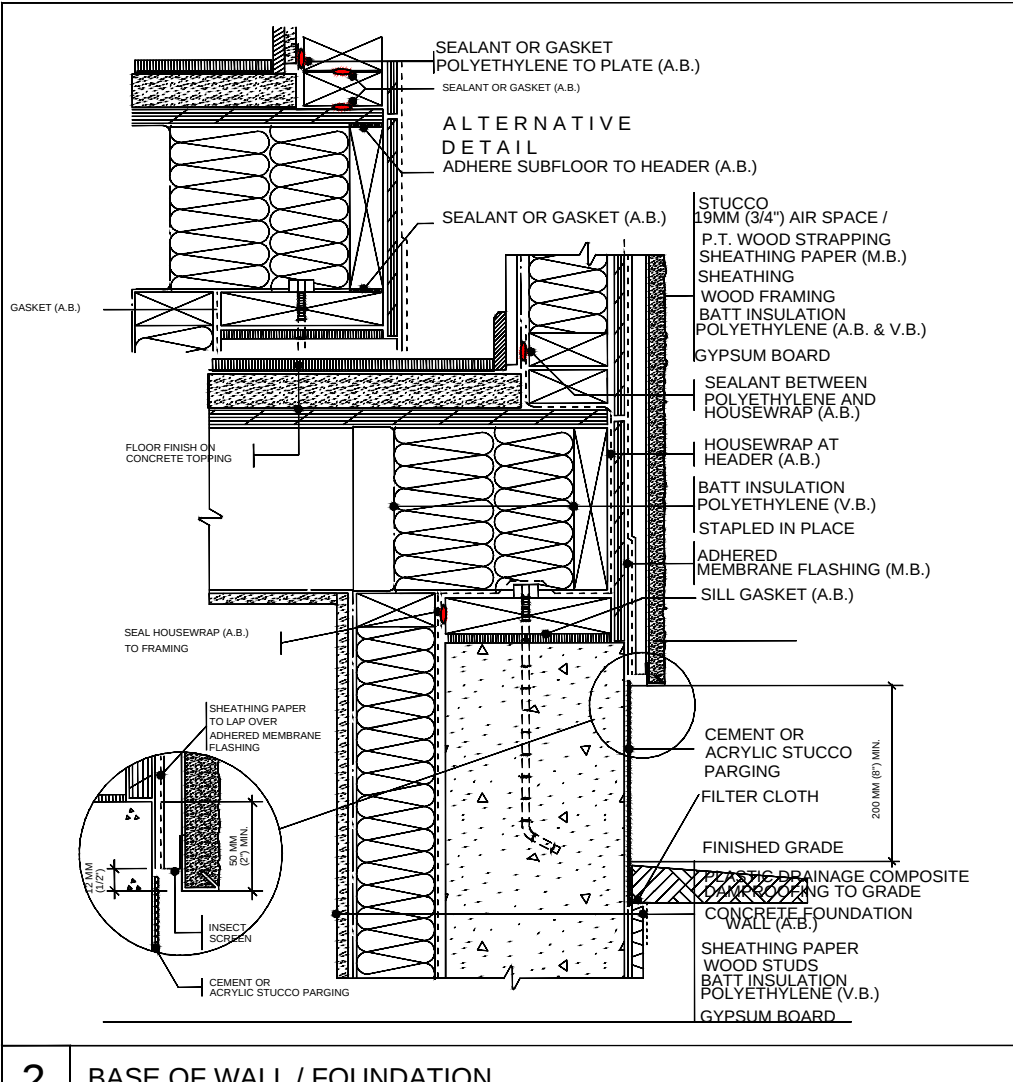
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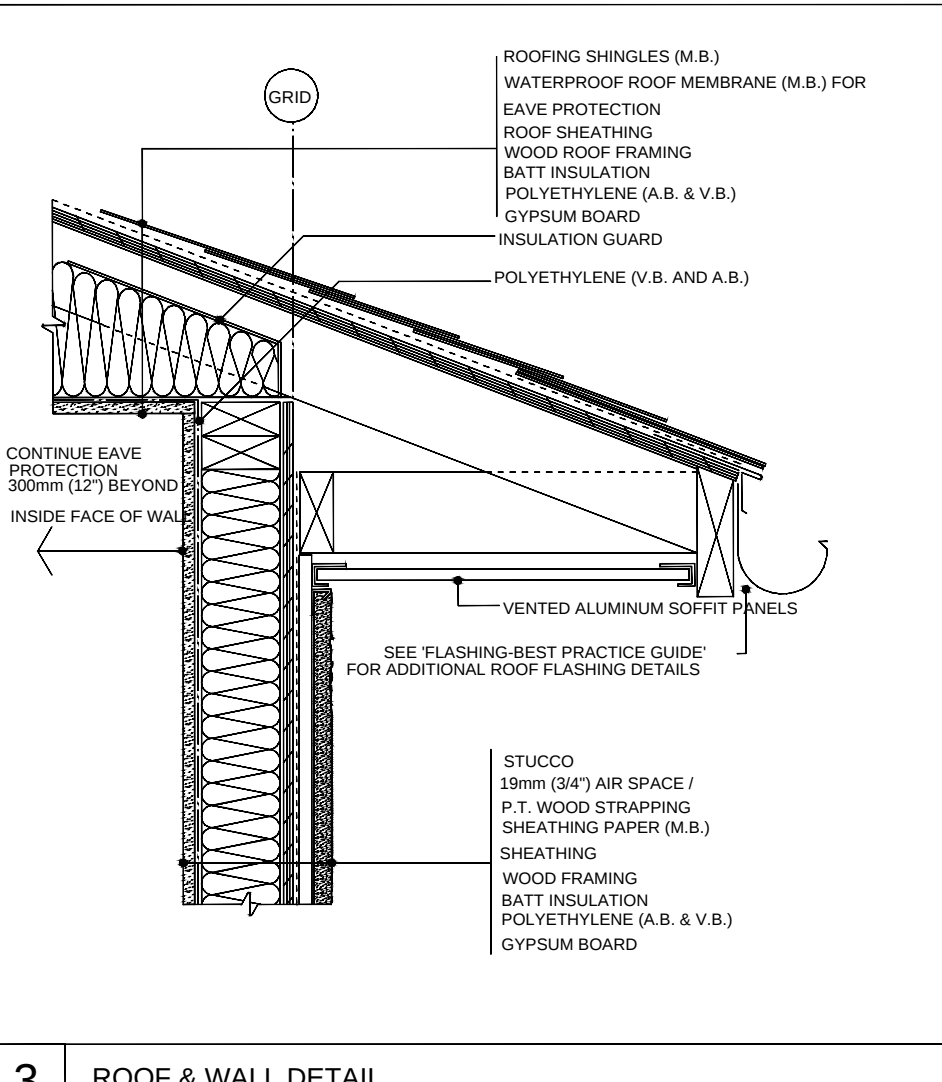
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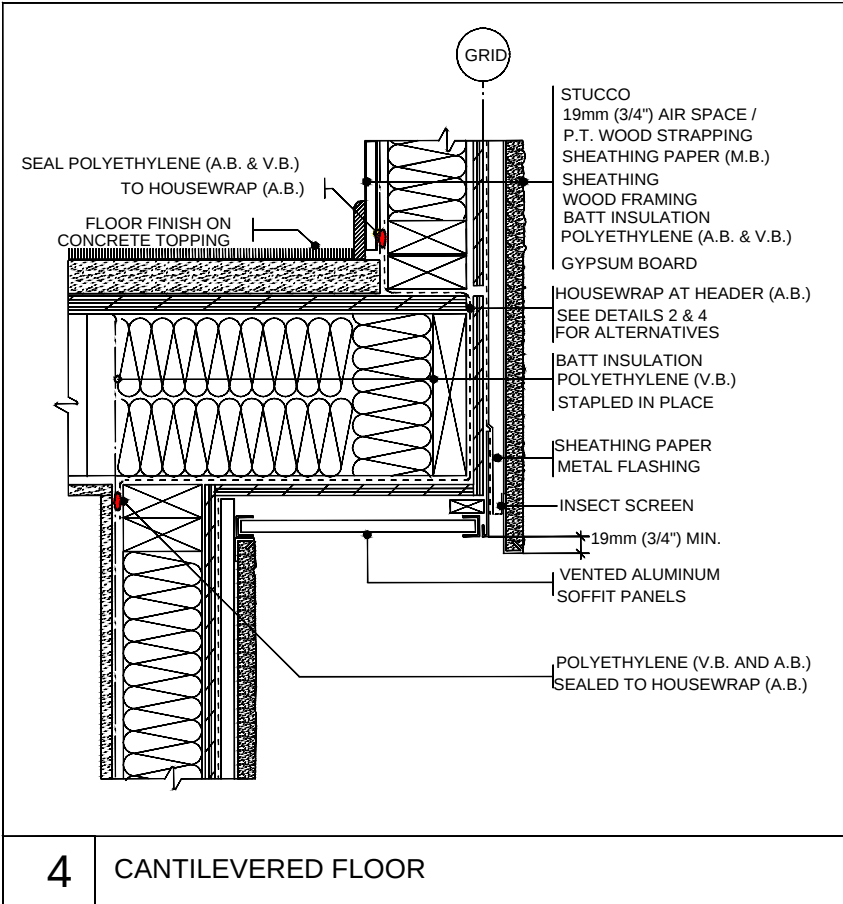
1 FOUNDATION WALL AT SLAB



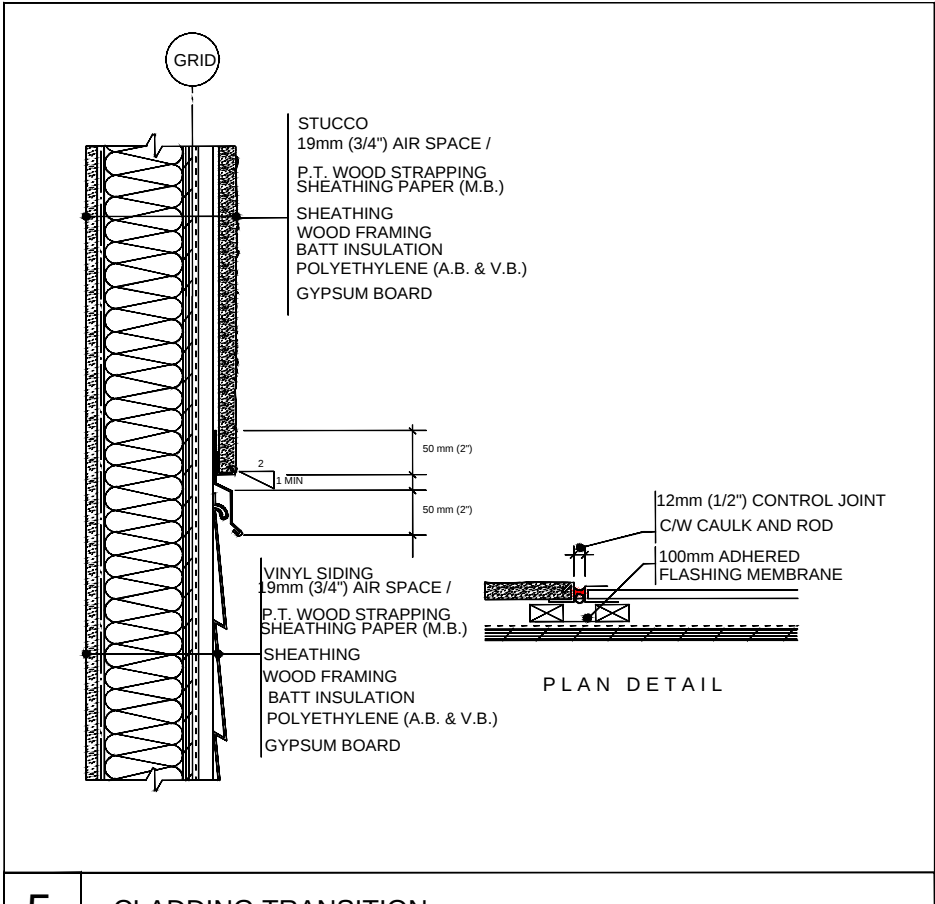
2 BASE OF WALL / FOUNDATION



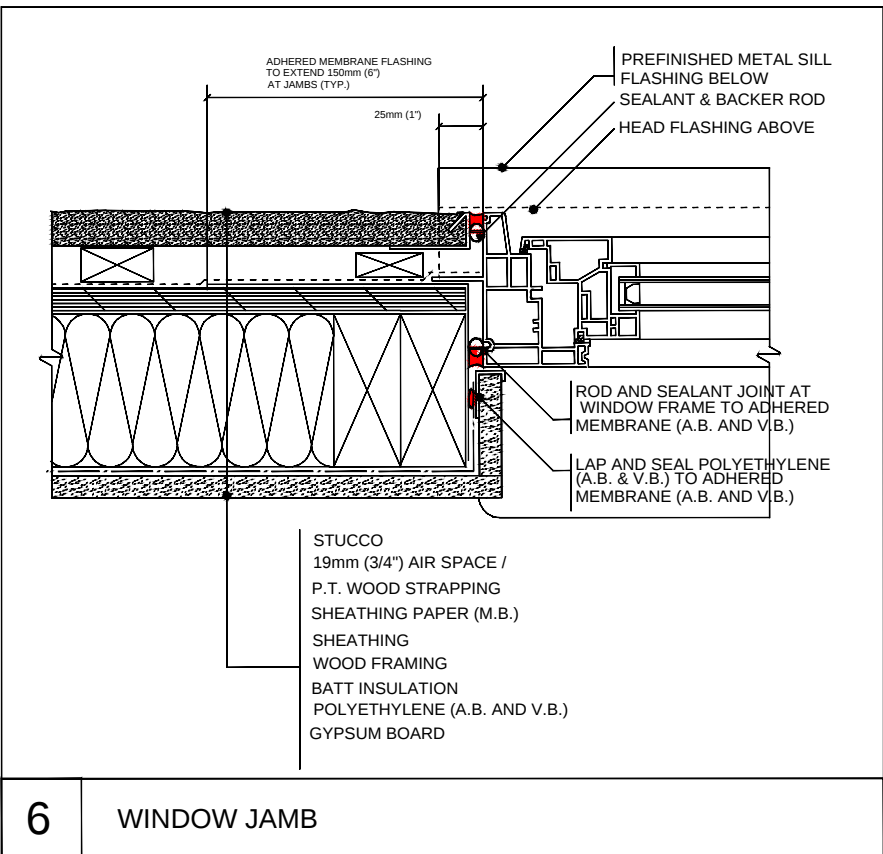
3 ROOF & WALL DETAIL



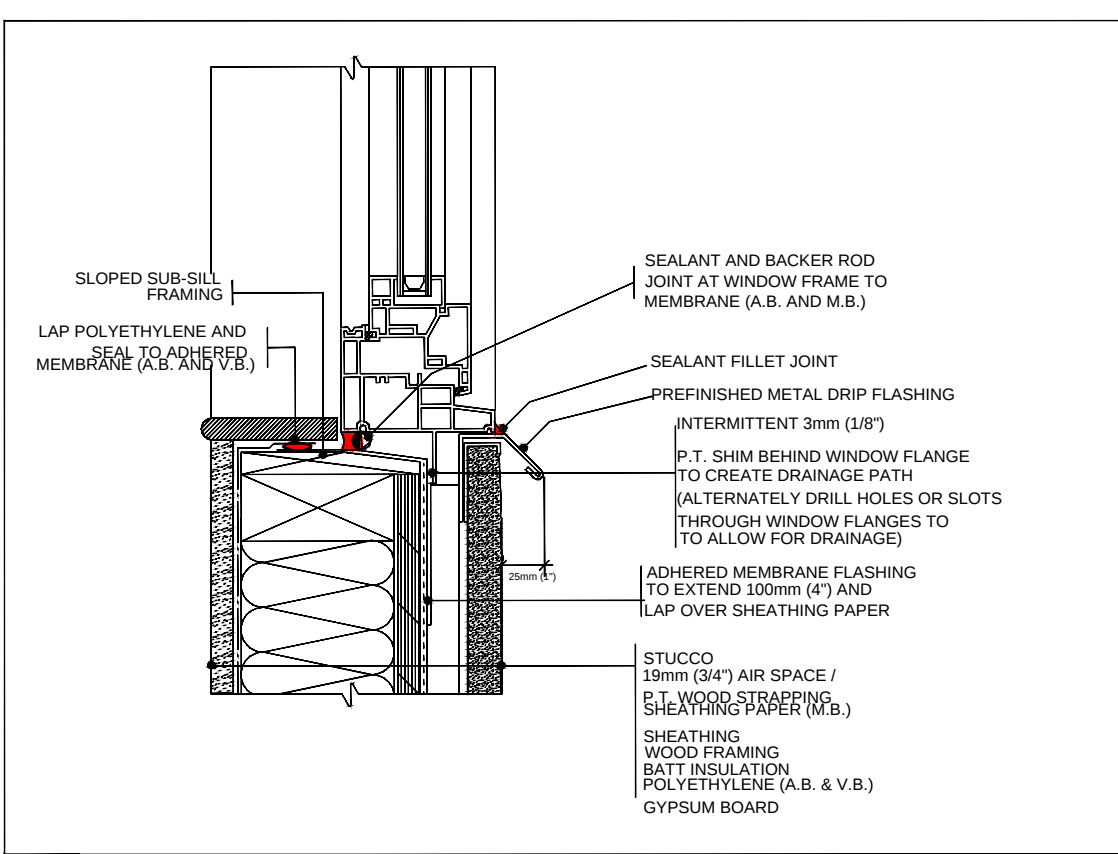
4 CANTILEVERED FLOOR



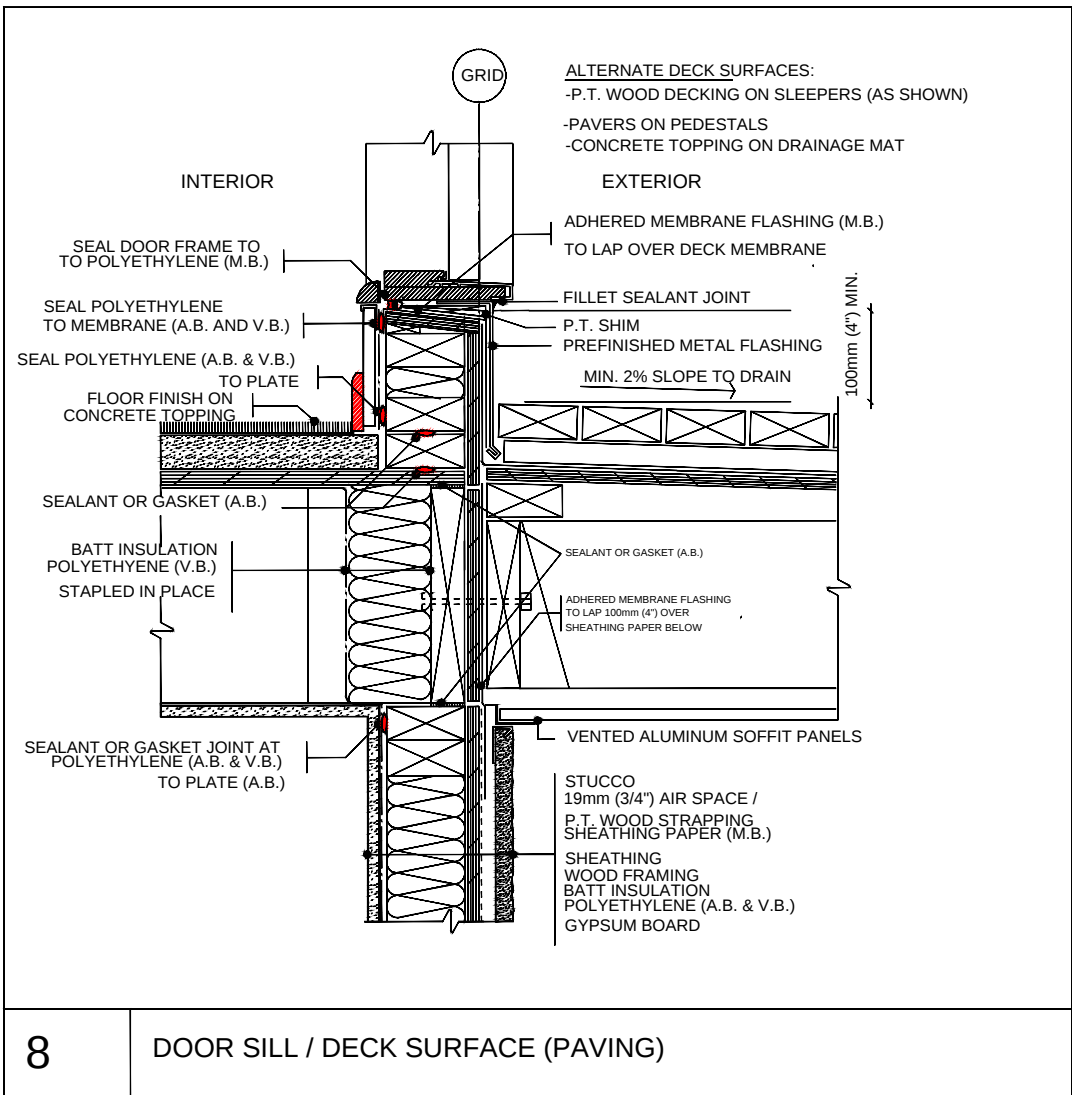
5 CLADDING TRANSITION



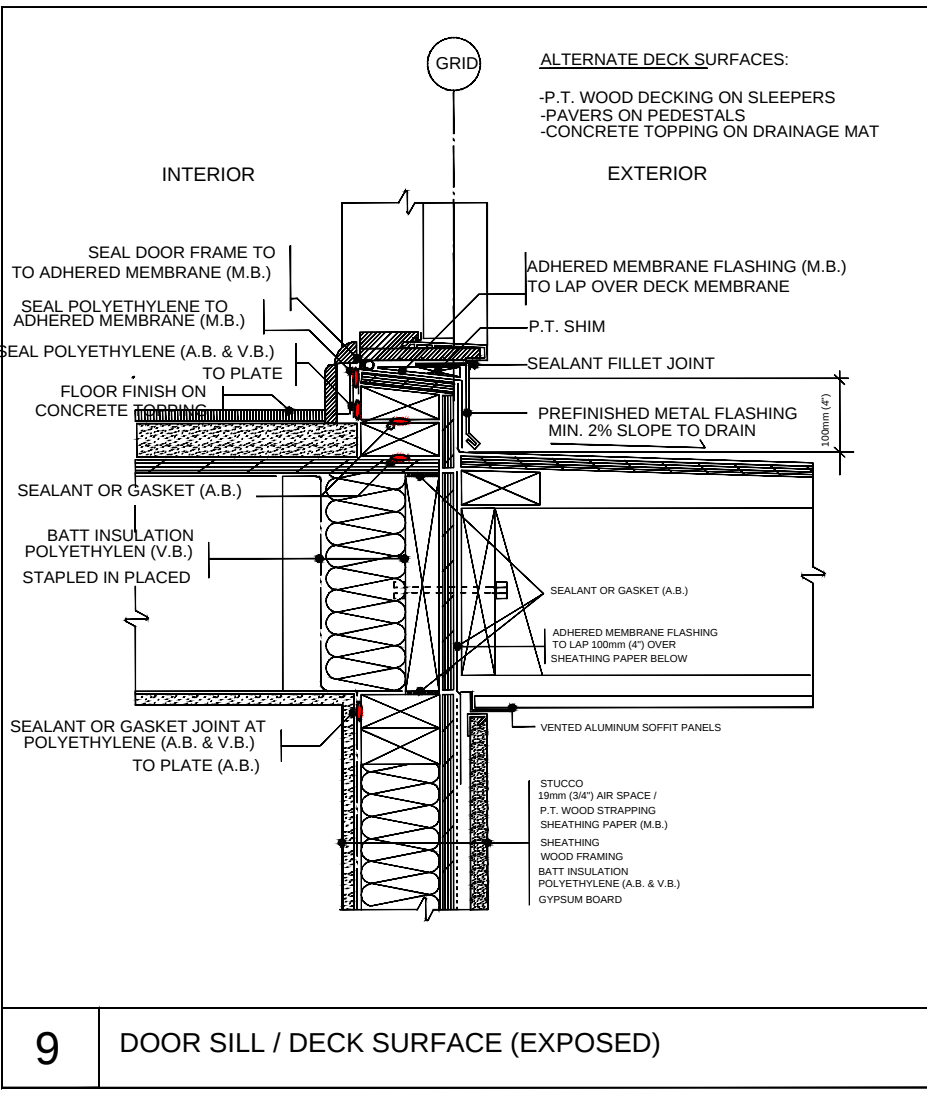
6 WINDOW JAMB



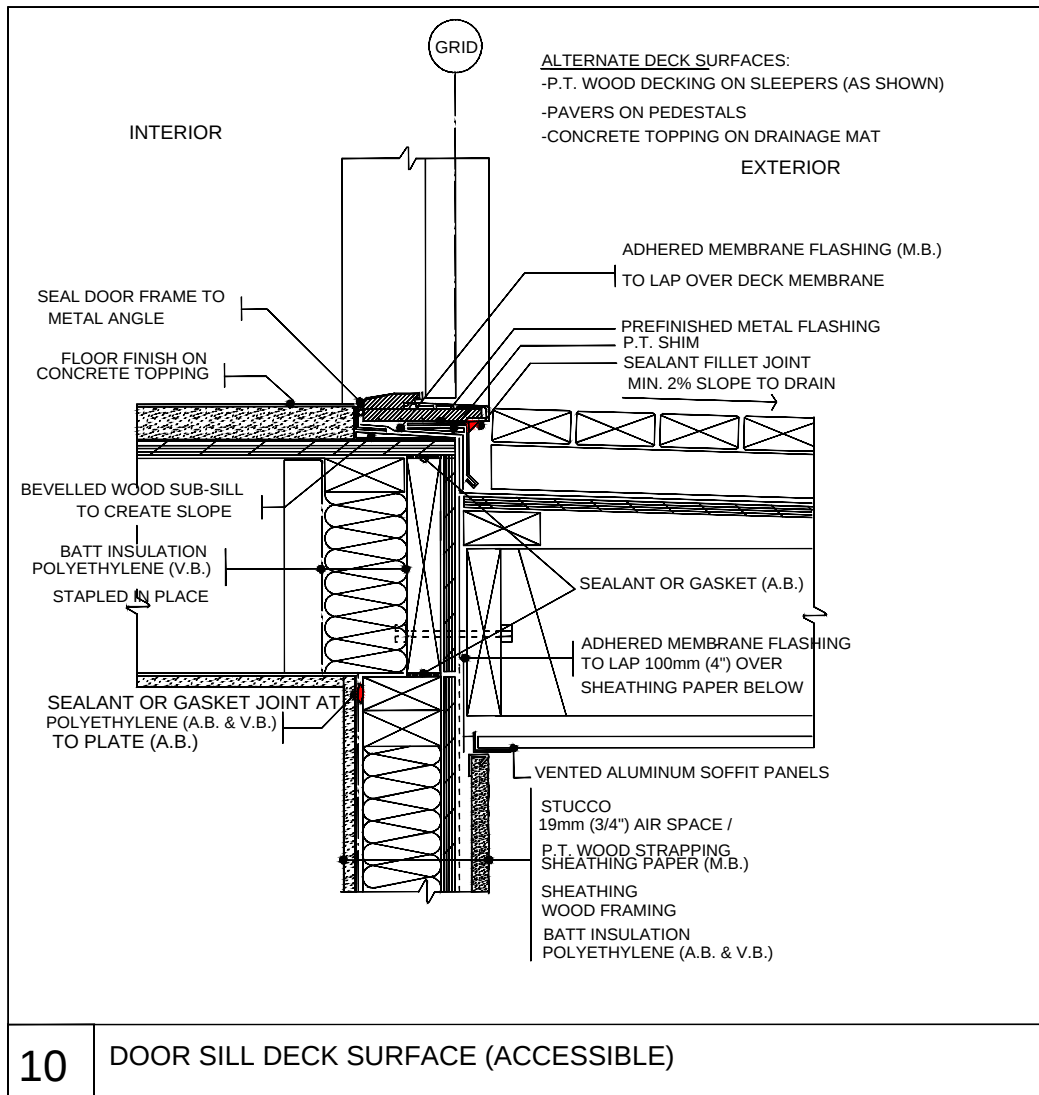
7 WINDOW SILL



8 DOOR SILL / DECK SURFACE (PAVING)



9 DOOR SILL / DECK SURFACE (EXPOSED)



10 DOOR SILL DECK SURFACE (ACCESSIBLE)

REVISION:		
8		
7		
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1	B.P.A.	JAN 6 / 2016
No.	Issue for	DATE

PROJECT:
WEST 5TH TRIPLEX
NORTH VANCOUVER, BC

DRAWING TITLE:
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DATE:
DEC 2015
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DR
CHECKED BY:
M.R.
SCALE: 1/2"

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