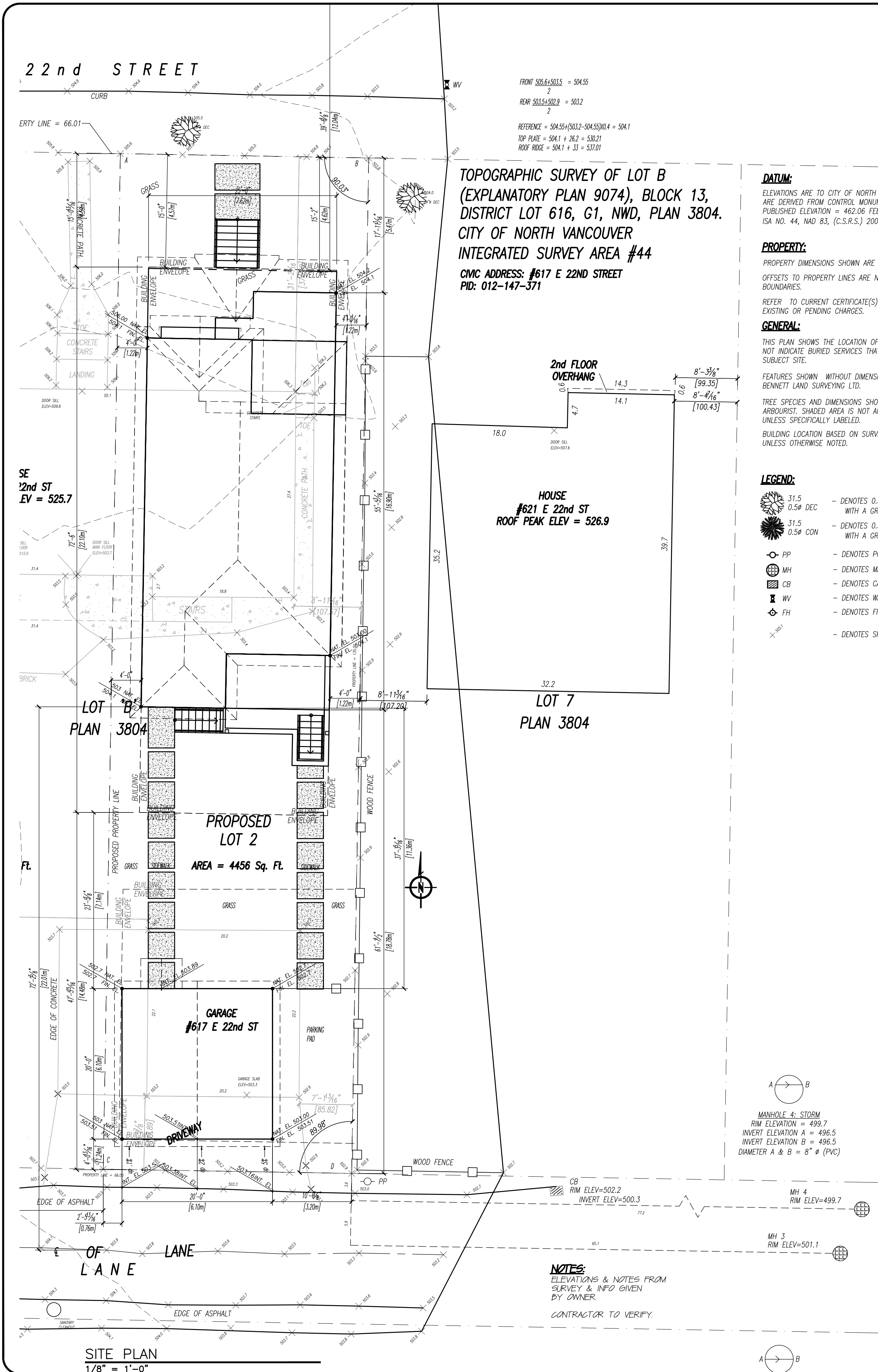




TOPOGRAPHIC SURVEY OF LOT B
(EXPLANATORY PLAN 9074), BLOCK 13,
DISTRICT LOT 616, G1, NWD, PLAN 3804.
CITY OF NORTH VANCOUVER
INTEGRATED SURVEY AREA #44
CMC ADDRESS: #617 E 22ND STREET
PID: 012-147-371

DATUM:
ELEVATIONS ARE TO CITY OF NORTH VANCOUVER GEODETIC DATUM, AND
ARE DERIVED FROM CONTROL MONUMENT 87H3711,
PUBLISHED ELEVATION = 462.06 FEET,
ISA NO. 44, NAD 83, (C.S.R.S.) 2005.

PROPERTY:
PROPERTY DIMENSIONS SHOWN ARE DERIVED FROM FIELD SURVEY.
OFFSETS TO PROPERTY LINES ARE NOT TO BE USED TO DEFINE
BOUNDARIES.
REFER TO CURRENT CERTIFICATE(S) OF TITLE FOR ADDITIONAL,
EXISTING OR PENDING CHARGES.

GENERAL:
THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES
NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE
SUBJECT SITE.

FEATURES SHOWN WITHOUT DIMENSIONS SHOULD BE CONFIRMED WITH
BENNETT LAND SURVEYING LTD.
TREE SPECIES AND DIMENSIONS SHOULD BE CONFIRMED BY A QUALIFIED
ARBOURIST. SHADED AREA IS NOT AN INDICATION OF DRIP LINE LOCATION
UNLESS SPECIFICALLY LABELED.
BUILDING LOCATION BASED ON SURVEY TIES TO VISIBLE EXTERIOR SURFACES
UNLESS OTHERWISE NOTED.

- LEGEND:**
- 31.5 DEC - DENOTES 0.5M DECIDUOUS TREE WITH A GROUND ELEVATION OF 31.5'
 - 31.5 CON - DENOTES 0.5M CONIFEROUS TREE WITH A GROUND ELEVATION OF 31.5'
 - PP - DENOTES POWER POLE
 - MH - DENOTES MANHOLE
 - CB - DENOTES CATCH BASIN
 - WV - DENOTES WATER VALVE
 - FH - DENOTES FIRE HYDRANT
 - SPOT - DENOTES SPOT ELEVATION

MANHOLE 4: STORM
RIM ELEVATION = 499.7
INVERT ELEVATION A = 496.5
INVERT ELEVATION B = 496.5
DIAMETER A & B = 8" Ø (PVC)

NOTES:
ELEVATIONS & NOTES FROM
SURVEY & INFO GIVEN
BY OWNER.
CONTRACTOR TO VERIFY.

©2008 EXACT DRAFTING INC. ALL RIGHTS RESERVED. THIS
PLAN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE
PROPERTY OF EXACT DRAFTING INC. AND CANNOT BE USED OR
REPRODUCED WITHOUT EXACT DRAFTING INC.'S WRITTEN
CONSENT.
THIS DRAWING WAS PREPARED BY EXACT DRAFTING INC.
THE MATERIAL IN IT REFLECTS THE BEST JUDGEMENT
OF EXACT DRAFTING INC. IN LIGHT OF THE INFORMATION
AVAILABLE TO IT AT THE TIME OF PREPARATION. ANY USE
WHICH A THIRD PARTY MAKES OF THIS DRAWING, OR ANY
RELIANCE ON OR DECISIONS TO BE MADE BASED ON IT, ARE
THE RESPONSIBILITY OF SUCH THIRD PARTIES. EXACT DRAFTING
INC. ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY,
SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS
MADE OR ACTIONS BASED ON THIS DRAWING.

REV.	DATE	DESCRIPTION	DR.	CHK.	APP.	REV.	DATE	DESCRIPTION	DR.	CHK.	APP.
01	1/1/20	ISSUED FOR REVIEW									
02	1/1/20	ISSUED FOR ENGINEERING									
03	1/1/20	ISSUED FOR PERMIT									

Exact Drafting Inc.
DRAFTING SERVICES
VAN. REG. # 888-0000
BURNABY, B.C. V5C 6G8 291 7572

Peet & Cowan Services
595 Howe Street, Suite 201
Vancouver BC V6C 2G2 (604) 222-2122

**617 E 22nd STREET
PROPOSED HOUSE & GARAGE
SITE PLAN**

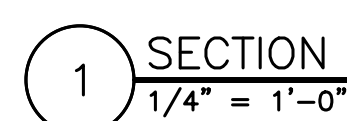
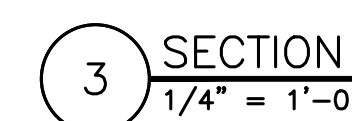
AS NOTED

1 OF 1

SCALE

1/8" = 1'-0"

SITE PLAN



**4. CRAWL SPACE BASEMENT
& SLAB ON GRADE FLOOR
CONSTRUCTION**

- 4" CONCRETE SLAB - BASEMENT
- 4" RIGID INSULATION
- 6 MIL P.V.B.
- 5" GRANULAR FILL
- VENTING 1:500

7. FOUNDATION WALL CONSTRUCTION
2"x8" SILL PLATE C/W SEAL GASKET
ANCHOR BOLTS @ 6'-0" O.C.
8" CONCRETE FOUNDATION WALL
DAMP PROOFING TO EXTERIOR PERIMETER (2 COATS)
2x4 STUDS @ 16" O.C.
MIN R-12, 2" RIGID INSULATION TO INTERIOR
6ML POLY
1/2" DRYWALL
24"x8" CONCRETE FOOTING CONTINUOUS

FLOOR DESIGN LOAD/JOIST SIZE & SPACING SUBJECT
REVIEW & REVISION BY STRUCTURAL ENGINEER
IF REQUIRED.

FLASHING AS REQUIRED.

ROOF OVERHANG 2'-0" OR AS NOTED.

METAL HANGERS & BLOCKING AS REQUIRED

JOIST JOISTS C/W CROSS BRIDGING & STRAPPING
Ø 7'-0" O.C.

UNMARKED BEAMS & LINTELS ARE 2-2x10 B.U. BEAM

EXCEPTIONS TO TYP. SPECS NOTED WHERE THEY OCC

WINDOWS & DIFFERENCES TO BE VERIFIED BY OWNER.

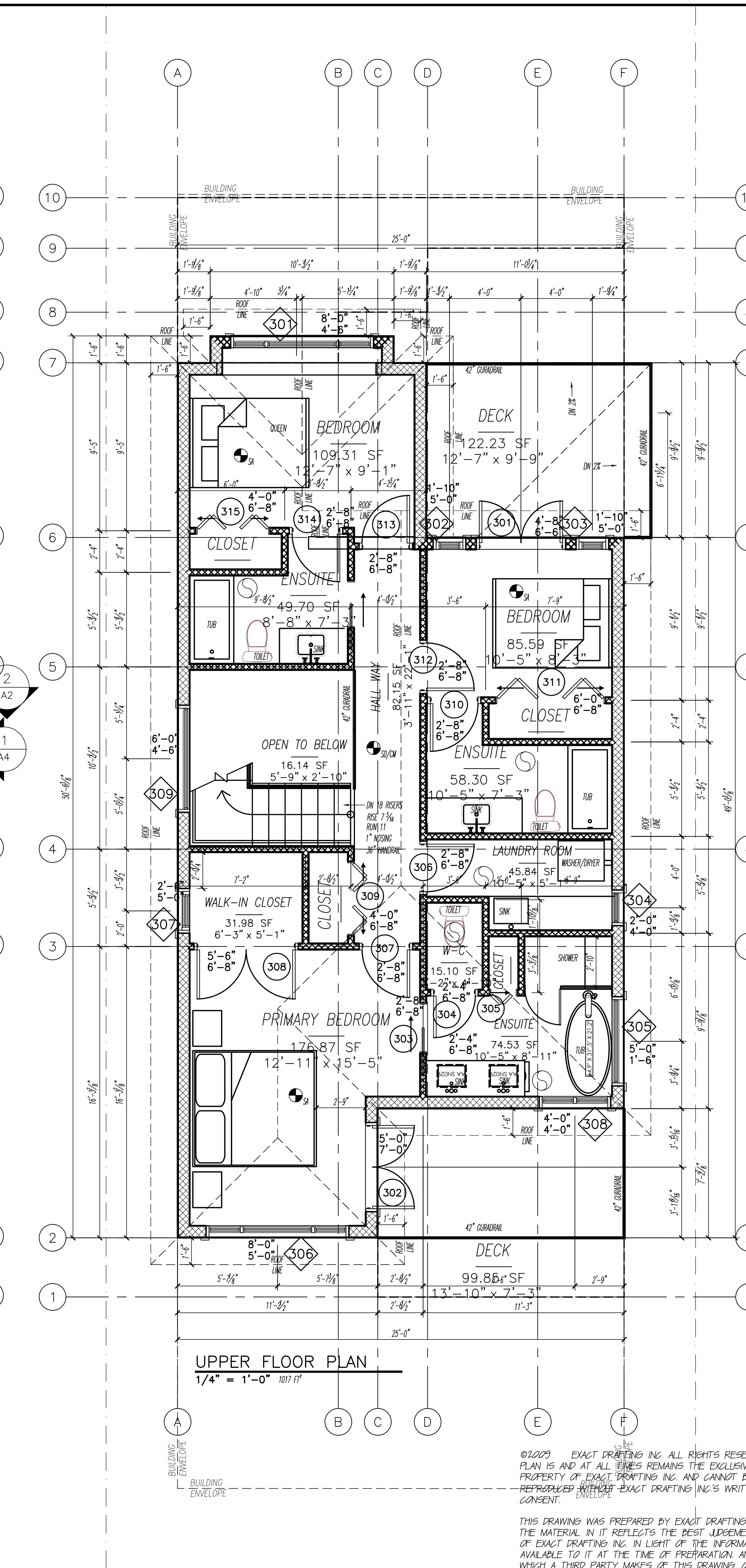
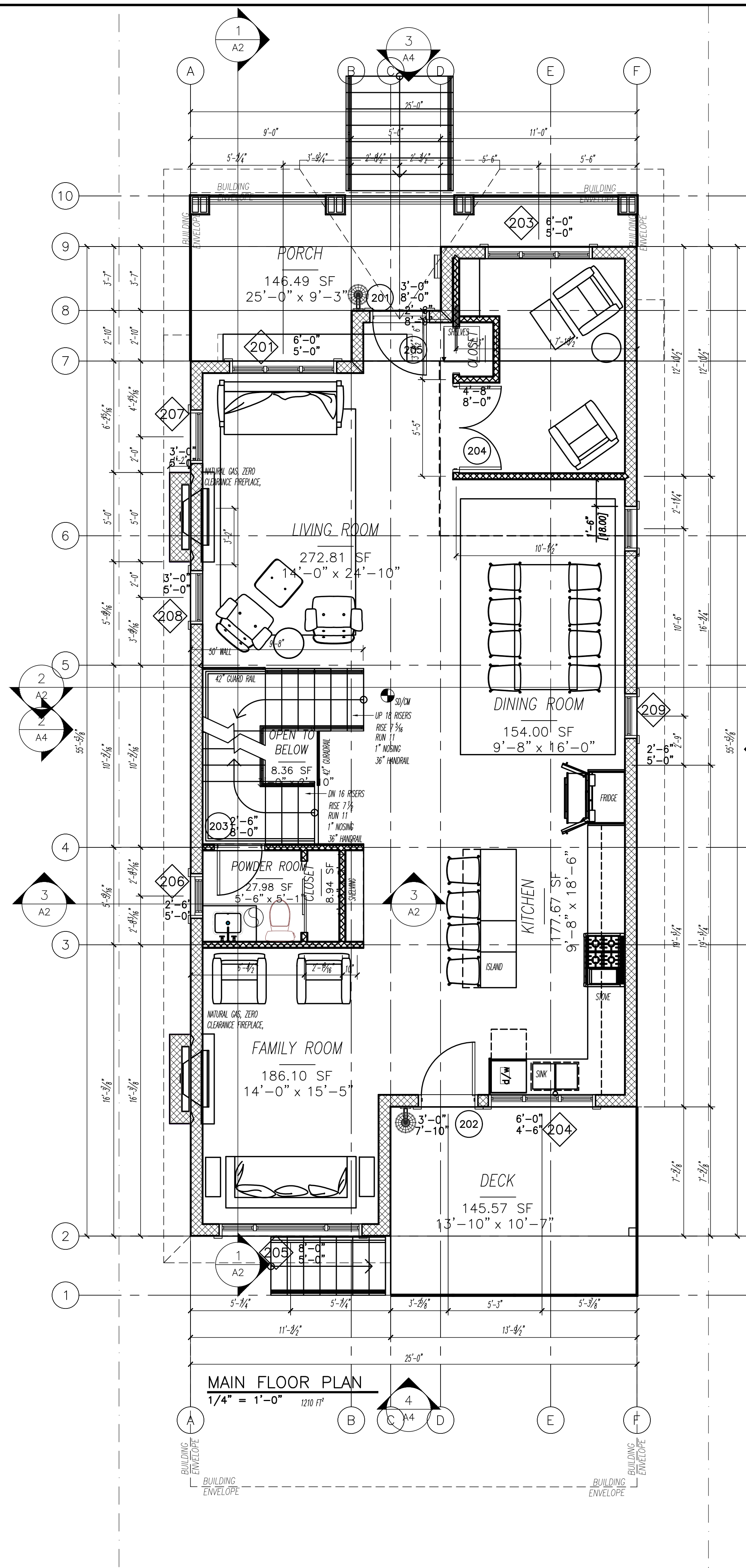
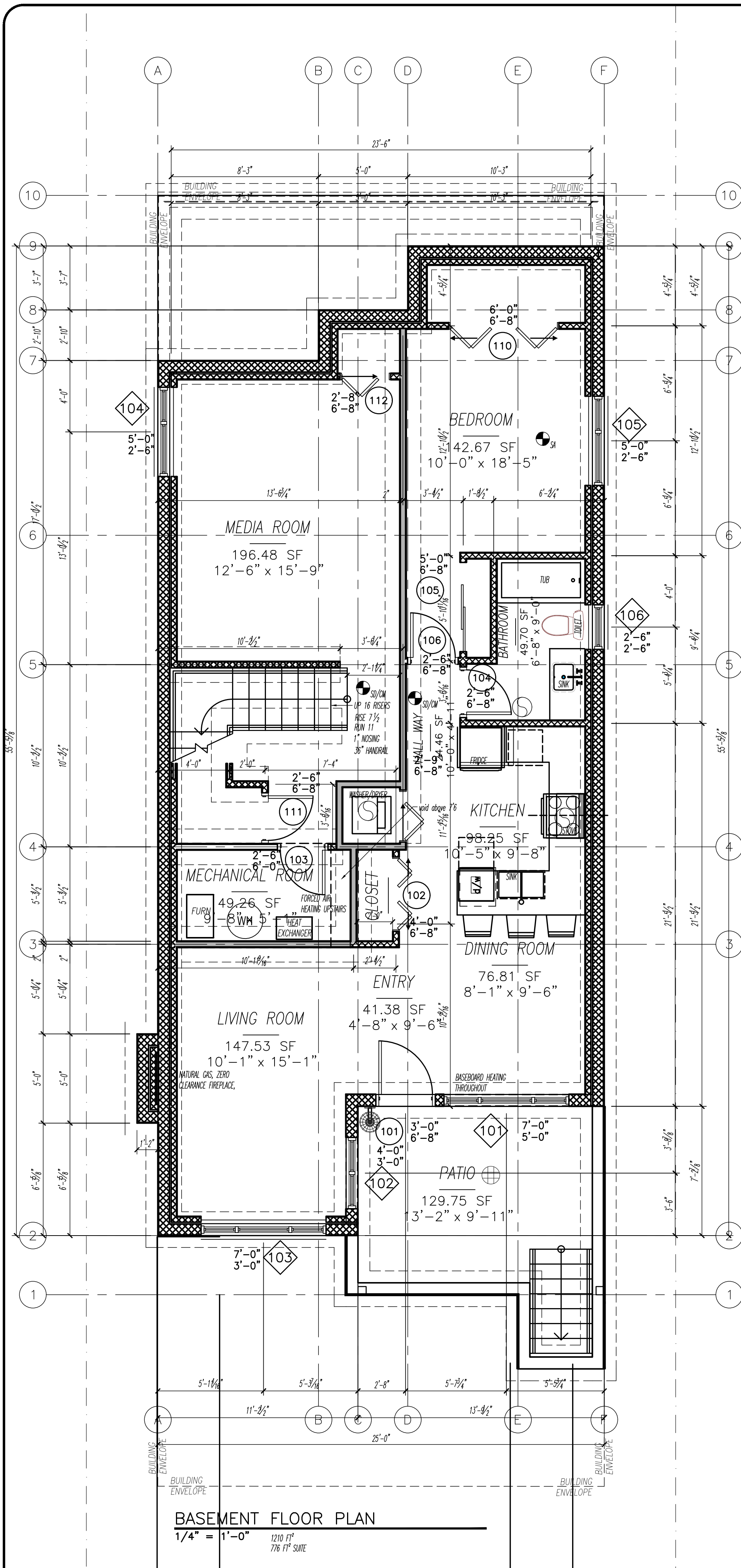
POINT LOADS TO SOLID BEARING.

1. STANDARDS USED FOR THE DESIGN OF THIS STRUCTURE ARE IN CONFORMITY WITH THE STANDARDS OF THE NATIONAL BUILDING CODE OF CANADA (NBC) AND B.C. BUILDING CODE (2012)
2. DIMENSIONS SHOWN SHALL ALWAYS HAVE PREFERENCE OVER SCALE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB.
4. THE MAXIMUM SPAN OF STRUCTURAL MEMBERS, SOIL BEARING CONDITIONS, CODE AND BYLAW REQUIREMENTS, ETC. MAY VARY IN SOME LOCATIONS; CHECK WITH THE AREA'S LOCAL BUILDING DEPARTMENT HAVING JURISDICTION AND/OR OTHER ASSOCIATIONS IF BUILDING UNDER THEIR REQUIREMENTS.
5. CONSTRUCTION SHALL CONFORM WITH THE LOCAL BYLAWS CODES & REGULATIONS.
6. SCALE 1/4"=1'-0" UNLESS OTHERWISE NOTED.
7. OWNER & CONTRACTOR TO REVIEW, VERIFY OR REVIEW GENERAL FINISHING SPEC.'S AS REQUIRED.
8. IT IS THE RESPONSIBILITY OF OWNER & CONTRACTOR TO VERIFY ALL ASPECTS OF APPROVED PROJECT.
9. EXACT DRAFTING INC. WILL NOT ACCEPT RESPONSIBILITY FOR ANY OMISSIONS OR DISCREPANCIES WHICH MAY OCCUR.
10. DRAWINGS HAVE BEEN PREPARED TO THE MOST RECENT BUILDING CODES & ZONING BY-LAWS HAVING JURISDICTION AT TIME OF COMPLETION.
11. EXTERIOR BL'KG ON ALL EXTERIOR DOORS AND WINDOWS IN ACCORDANCE TO SECTIONS 9.7 OF THE BUILDING CODE AND WINDOWS ACCORDING TO 9.7.6 OF BUILDING CODE.
12. WATERPROOF BACKING ON BATHTUBS & SHOWERS

© 2009 EXACT DRAFTING INC. ALL RIGHTS RESERVED. THIS PLAN IS
AND AT ALL TIMES REMAINS THE EXCLUSIVE
PROPERTY OF EXACT DRAFTING INC. AND CANNOT BE USED OR
REPRODUCED WITHOUT EXACT DRAFTING INC.'S WRITTEN CONSENT.

THIS DRAWING WAS PREPARED BY EXACT DRAFTING INC.
THE MATERIAL IN IT REFLECTS THE BEST JUDGMENT
OF EXACT DRAFTING INC. IN LIGHT OF THE INFORMATION AVAILABLE TO IT
AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES
OF THIS DRAWING, OR ANY RELIANCE ON OR DECISIONS TO BE MADE
BASED ON IT, ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES. EXACT
DRAFTING INC. ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY,
SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR
ACTIONS BASED ON THIS DRAWING.

Zoning Analysis						
project	single family with garage					
address	619 E22nd Street North Vancouver					
legal discription	lot b epl. Plan 9074, block 13 d.l. 616, g1 nwd plan 3804 pid 02-147-371					
neighbourhood	lower Lonsdale					
basic adata						
	allowed	max sqft	max msq	proposed	max sqft	max msq
fsr	0.5	2227.67	206.96		2227	206.89
lot coverage	0.4	1782.13	165.56		1610	149.57
	width ft	legnth ft	width m	length m		
lot size	33	135.01	10.06	41.15		
lot area	4456 sqft			413.91 sm		
	min	proposed		proposed elevation		
1st floor	2.5 ft	5.68Ft		509.78		
max heights						
lot corners	a	b	c	d		
survey ft	505.6	503.9	503.5	502.9		m
reference grade	front average	504.8				153.8
	lane average	503.2				153.4
refernce elevation		504.1				153.7
front+{(lane-front)*0.40)		proposed	allowed			
ridge height		537.0	537.1			163.7
top plate height		529.8	530.3			161.5
ceiling heights	ridge		537.0			163.7
	top		529.8			161.5
	2nd floor	9 ft	520.83			158.7
	1st floor	10 ft	509.8			155.4
	basement	9 ft	499.77			152.3
proposed grade			504.1			153.6
			required ft	proposed ft	required m	proposed m
setbacks	street		15	15.17	4.6	4.6
	lane		4	4.07	1.2	1.2
	a-c		4	4	1.2	1.2
	b-d		4	4	1.2	1.2



THIS DRAWING WAS PREPARED BY EXACT DRAFTING INC. THE MATERIAL IN IT REFLECTS THE BEST JUDGMENT OF EXACT DRAFTING INC. IN LIGHT OF THE INFORMATION AVAILABLE TO IT AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THIS DRAWING, OR ANY RELIANCE ON OR DECISIONS TO BE MADE BASED ON IT, ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES. EXACT DRAFTING INC. ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THIS DRAWING.

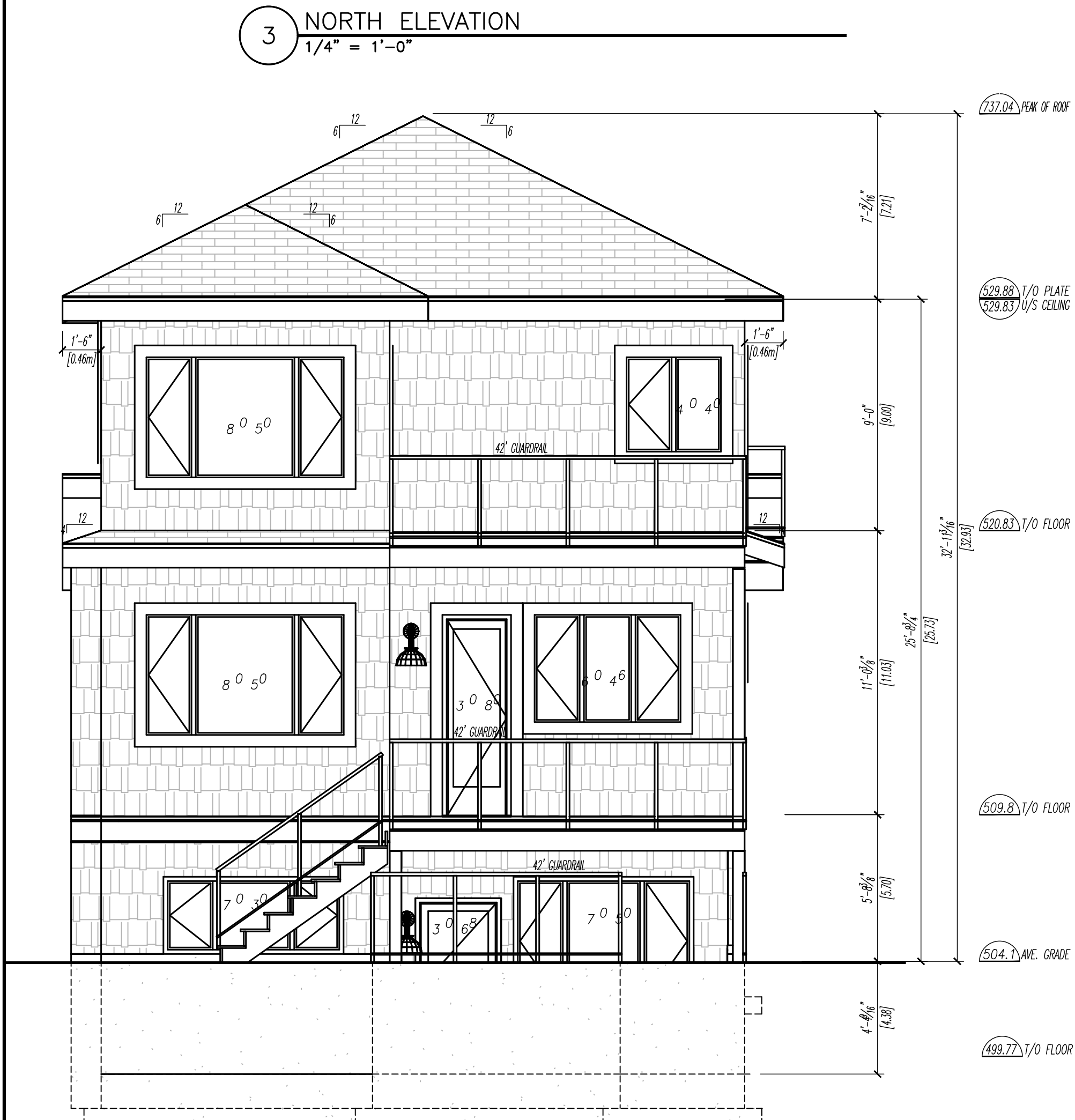
DRAWN FOR		DRAWN BY		CHECKED		REV. DATE		DR. CH. APP.	
Peet & Cowan Services		Exact Drafting Inc.		CO. SIG		NO DAY YR		DR. CH. APP.	
555 Howe Street, Suite 201		1750 170 St. Unit 10, Burnaby, B.C. V5C 6G8		2017/02/21		1/25/21		1/25/21	
Vancouver		(604) 522-4121							
TITLE		619 E 22nd		PROPOSED HOUSE & GARAGE		FLOOR PLANS		1/4"=1'-0"	
SHEET		OF		SCALE		REV.		03	
A3		AS FLOOR PLANS							



3 NORTH ELEVATION
1/4" = 1'-0"

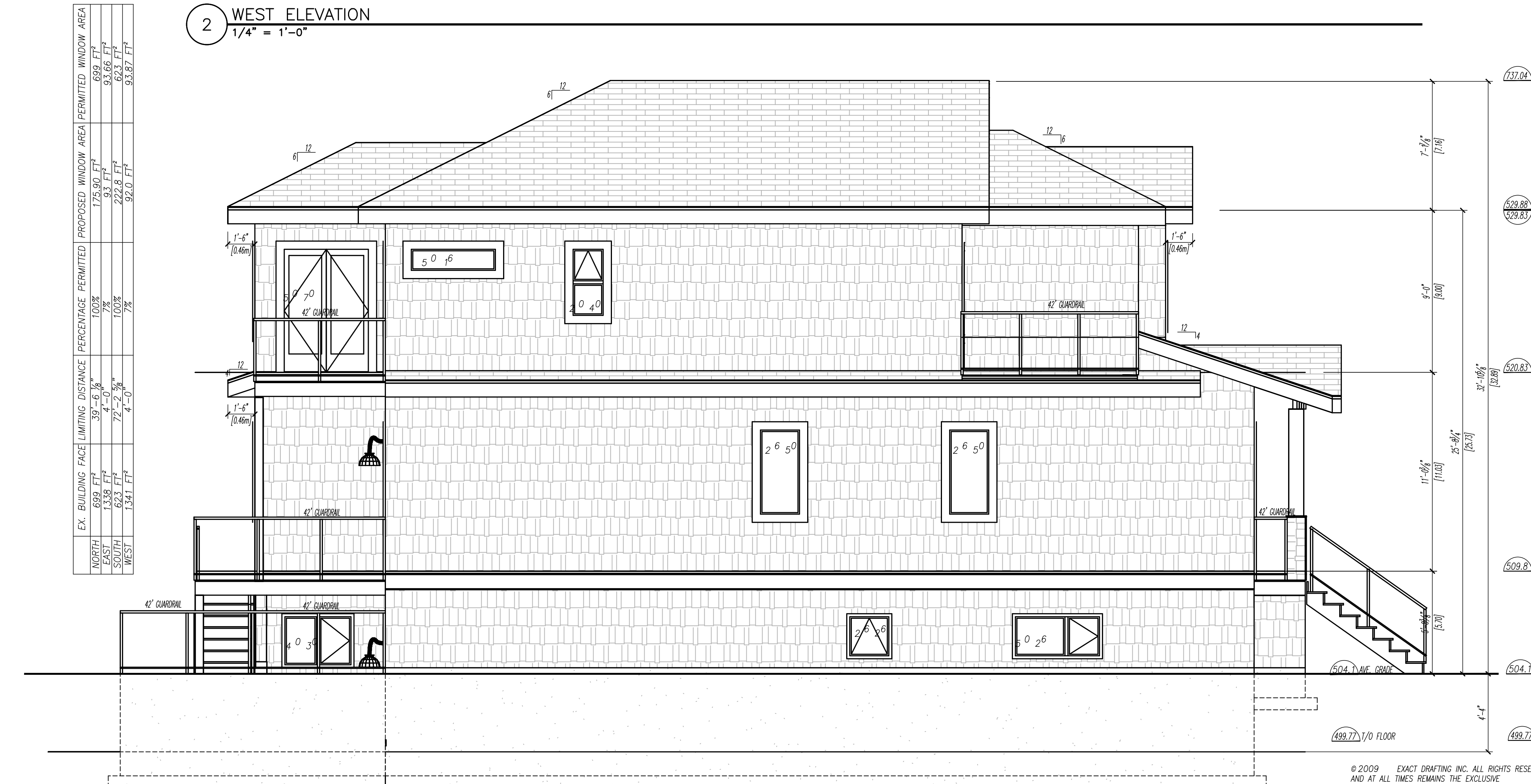


2 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

	EX. BUILDING FACE	LIMITING DISTANCE	PERCENTAGE PERMITTED	PROPOSED WINDOW AREA	PERMITTED WINDOW AREA
NORTH	699 FT²	39'-6 3/8"	100%	175.90 FT²	699 FT²
EAST	1,338 FT²	4'-0"	7%	93 FT²	93.66 FT²
SOUTH	623 FT²	72'-2 3/8"	100%	222.8 FT²	623 FT²
WEST	1,341 FT²	4'-0"	7%	94.0 FT²	93.67 FT²

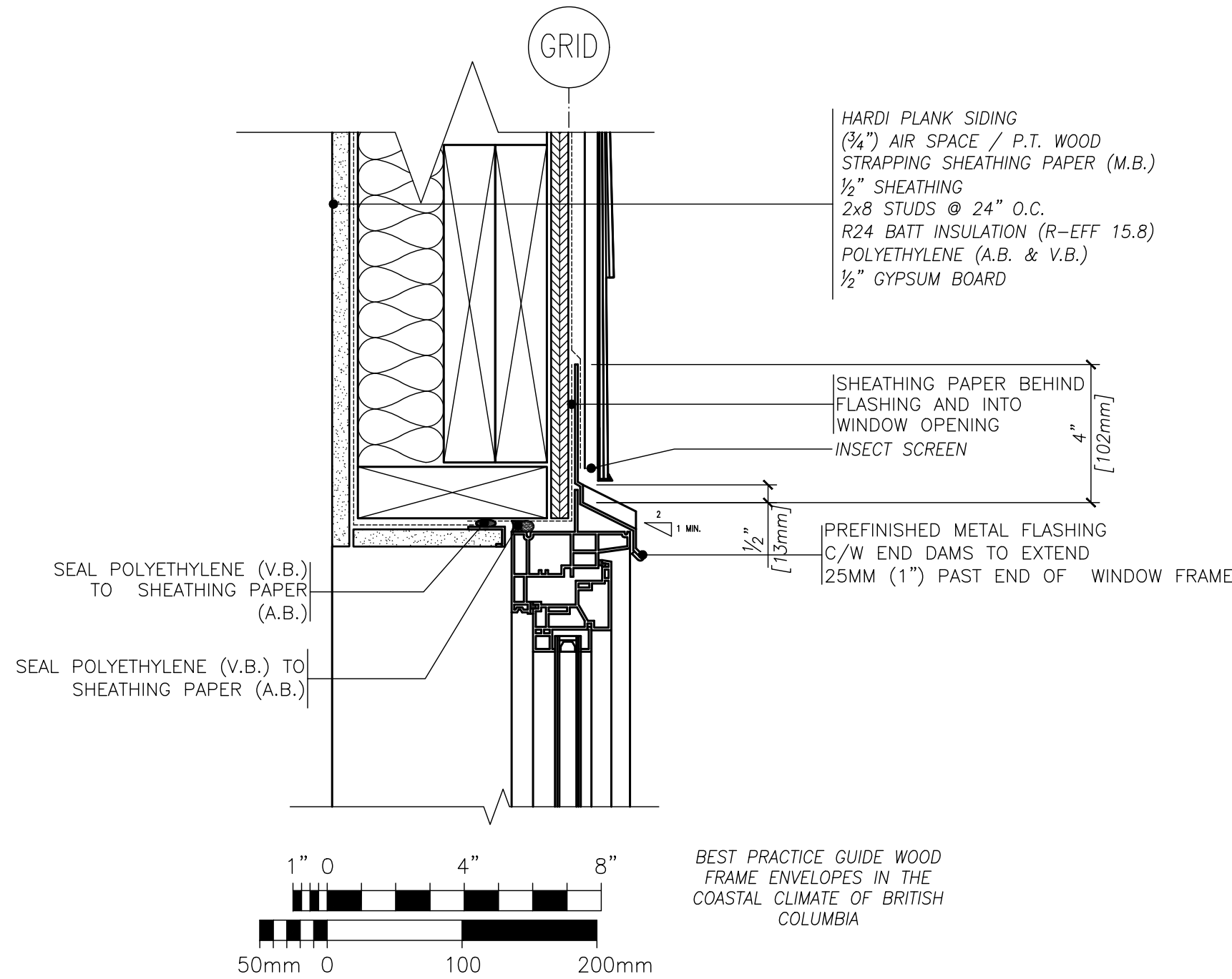


1 EAST ELEVATION
1/4" = 1'-0"

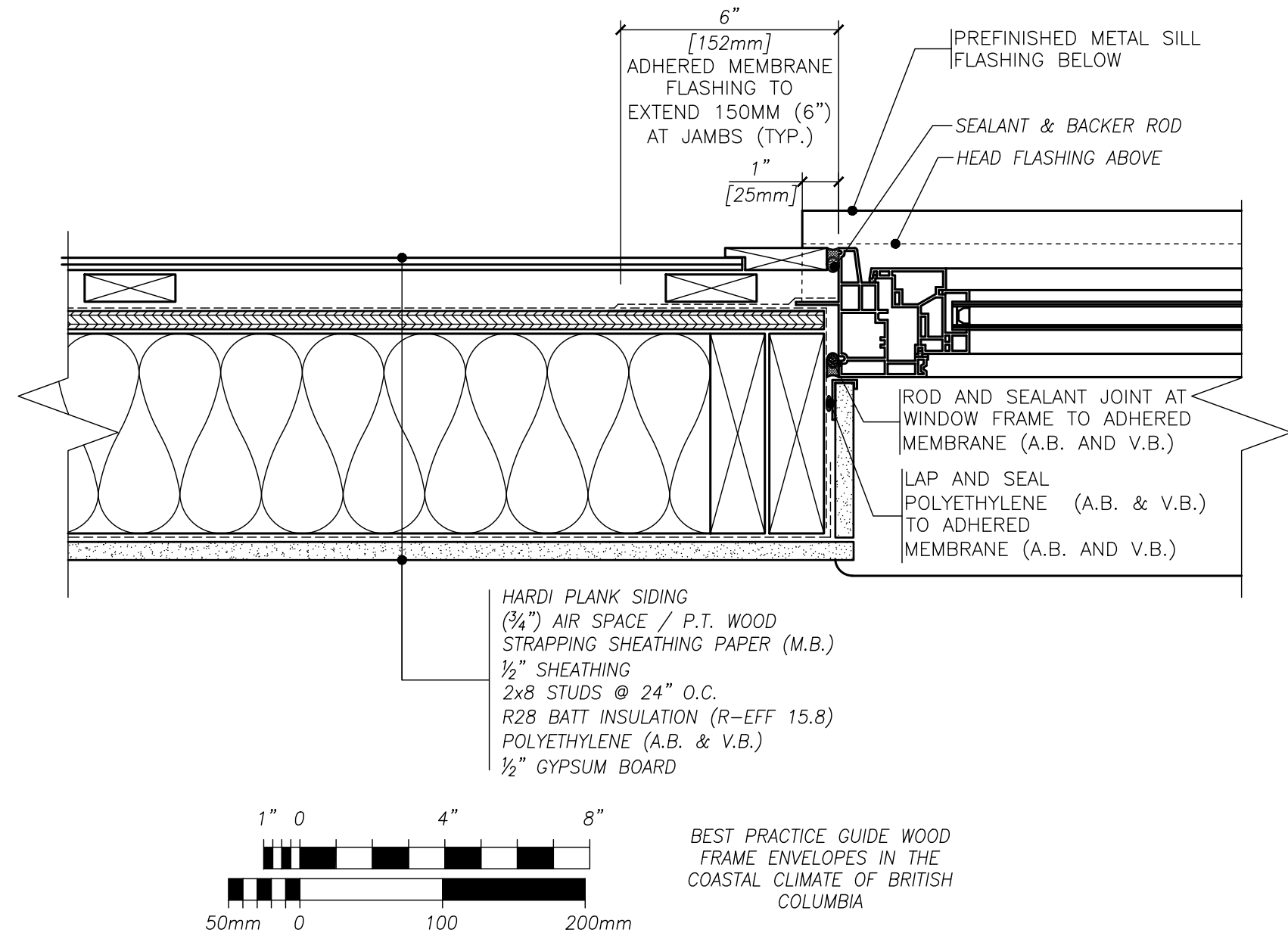
© 2009 EXACT DRAFTING INC. ALL RIGHTS RESERVED. THIS PLAN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF EXACT DRAFTING INC. AND CANNOT BE USED OR REPRODUCED WITHOUT EXACT DRAFTING INC.'S WRITTEN CONSENT.

THIS DRAWING WAS PREPARED BY EXACT DRAFTING INC. THE MATERIAL IN IT REFLECTS THE BEST JUDGEMENT OF EXACT DRAFTING INC. IN LIGHT OF THE INFORMATION AVAILABLE TO IT AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THIS DRAWING, OR ANY RELIANCE ON OR DECISIONS TO BE MADE BASED ON IT, ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES. EXACT DRAFTING INC. ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THIS DRAWING.

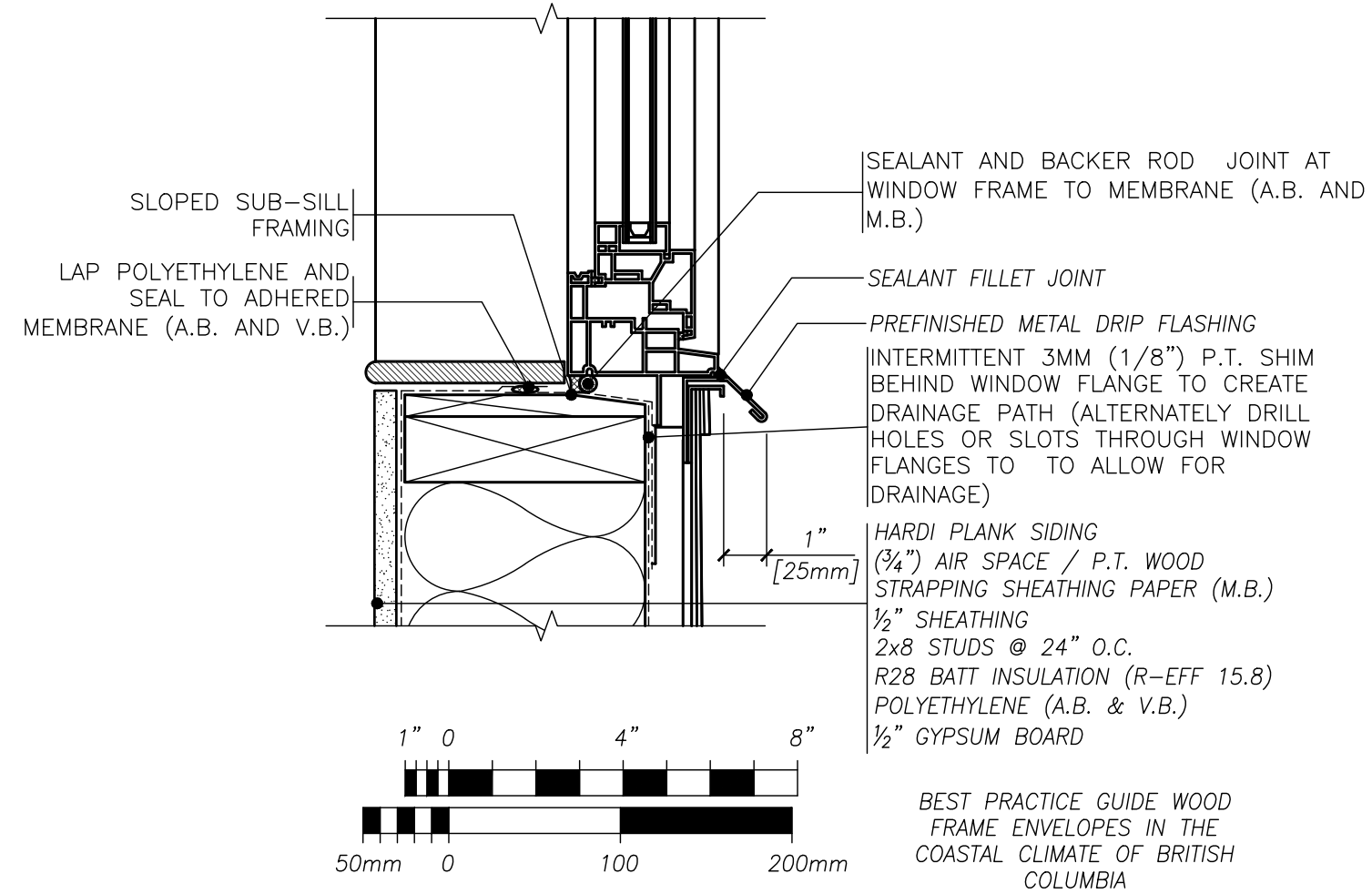
A4	SHEET	4	OF	7	SCALE	1/4" = 1'-0"	03	ELEVATIONS	TITLE	619 E 22nd PROPOSED HOUSE & GARAGE	DRAWN FOR	Peet & Cowan Services 595 Howe Street, Suite 201 Vancouver	DRAWN BY	Exact Drafting Inc. DRAFTING SERVICES FAX: (604) 888-3603	CHECKED	CO. SIG	DRAWN BY	BMM	DATE	10/14/21	REV.	DATE	DESCRIPTION	LDR CH. APP.



WINDOW HEAD 11 SPA
SEALED POLYETHYLENE APPROACH



WINDOW JAMB 12 SPA
SEALED POLYETHYLENE APPROACH



WINDOW SILL 13 SPA
SEALED POLYETHYLENE APPROACH

©2009 EXACT DRAFTING INC. ALL RIGHTS RESERVED. THIS PLAN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF EXACT DRAFTING INC. AND CANNOT BE USED OR REPRODUCED WITHOUT EXACT DRAFTING INC.'S WRITTEN CONSENT.

THIS DRAWING WAS PREPARED BY EXACT DRAFTING INC. THE MATERIAL IN IT REFLECTS THE BEST JUDGEMENT OF EXACT DRAFTING INC. IN LIGHT OF THE INFORMATION AVAILABLE TO IT AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THIS DRAWING, OR ANY RELIANCE ON OR DECISIONS TO BE MADE BASED ON IT, ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES. EXACT DRAFTING INC. ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THIS DRAWING.

TITLE		DRAWN FOR		DRAWN BY		CHECKED		DATE		REV.		DATE		DESCRIPTION	
619 E 22nd		Peet & Cowan Services		Exact Drafting Inc.		CO. SIG		10/19/21		01		10/19/21		LORI CHILAPPA	
PROPOSED HOUSE & GARAGE		595 Howe Street, Suite 201		DRAFTING SERVICES		CO. SIG		10/19/21		02		10/19/21			
DETAILS		Vancouver		FAX: (604) 888-7803		DRAWN BY: BMM		10/19/21		03		10/19/21			
AS NOTED		(604) 922-2122		DRAFTING SERVICES		CO. SIG		10/19/21		03		10/19/21			
A7		SHEET 7 OF 7		SCALE		REV.		03		AS NOTED					